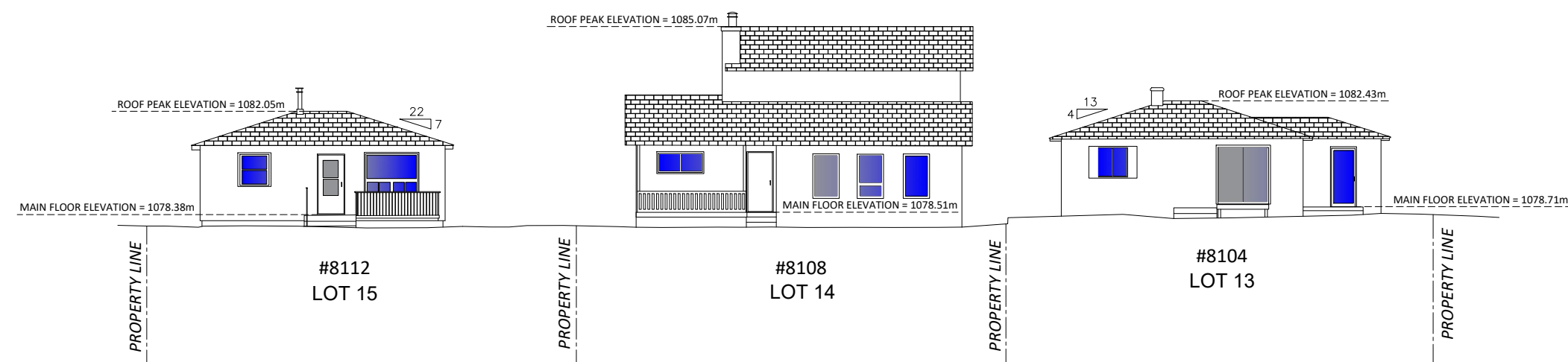


EXISTING SITE/BLOCK PLAN SCALE: 1:200



EXISTING STREETSCAPE SCALE: 1:200

EXISTING ADJACENT PROFILES SCALE: 1:200

**SURVEY LEGEND**

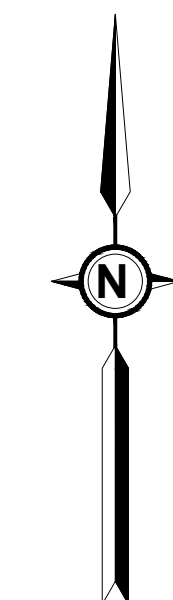
- MAJOR CONTOUR 1.0m INTERVAL
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- CONCRETE
- SHRUB OUTLINE
- CONIFEROUS TREE
- TREE INFORMATION

**SURVEY NOTES**

ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.

**TREE DATA**

TREE	Type	Canopy	Height	Diameter
1	Coniferous	4.0	15.4	0.2
2	Coniferous	4.5	15.4	0.3
3	Coniferous	5.4	18.3	0.4
4	Coniferous	5.3	16.5	0.4
5	Coniferous	5.5	15.0	0.5
6	Coniferous	6.8	14.4	0.3
7	Coniferous	5.8	15.7	0.4
8	Coniferous	6.0	14.9	0.3
9	Coniferous	5.9	16.7	0.4
10	Coniferous	4.1	10.5	0.2



**4-PLEX REDESIGNATION**  
8104 46 Avenue NW  
CALGARY, ALBERTA  
L 13 B 8 P 2660 AP



246 Royal Abbey Court NW, Calgary, Alta, T3G 4Y3  
P:403.374.1921 | C:403.613.4639  
LegaciesDesign@gmail.com | LastingLegaciesDesign.com

CLIENT:



8114 46 Ave NW, Calgary, AB T3B 1Y4  
(403) 630-9688

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DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO LASTING LEGACIES INC. PRIOR TO CONSTRUCTION. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO LASTING LEGACIES INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.

ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

**REDESIGNATION PERMIT SET**

REVISION:	DATE: (y/m/d)
1.	-

DRAWING TITLE:  
**EXISTING SITE PLAN / BLOCK PLAN**

PROJECT #:	2021-2237
DATE:	2020.11.27
SCALE:	AS SHOWN
DRAWN BY:	LL

DRAWING #:  
**DP1**



**4-PLEX REDESIGNATION**  
 8104 46 Avenue NW  
 CALGARY, ALBERTA  
 L 13 B 8 P 2660 AP



246 Royal Abbey Court NW, Calgary, Alta. T36 4Y3  
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**REDESIGNATION PERMIT SET**

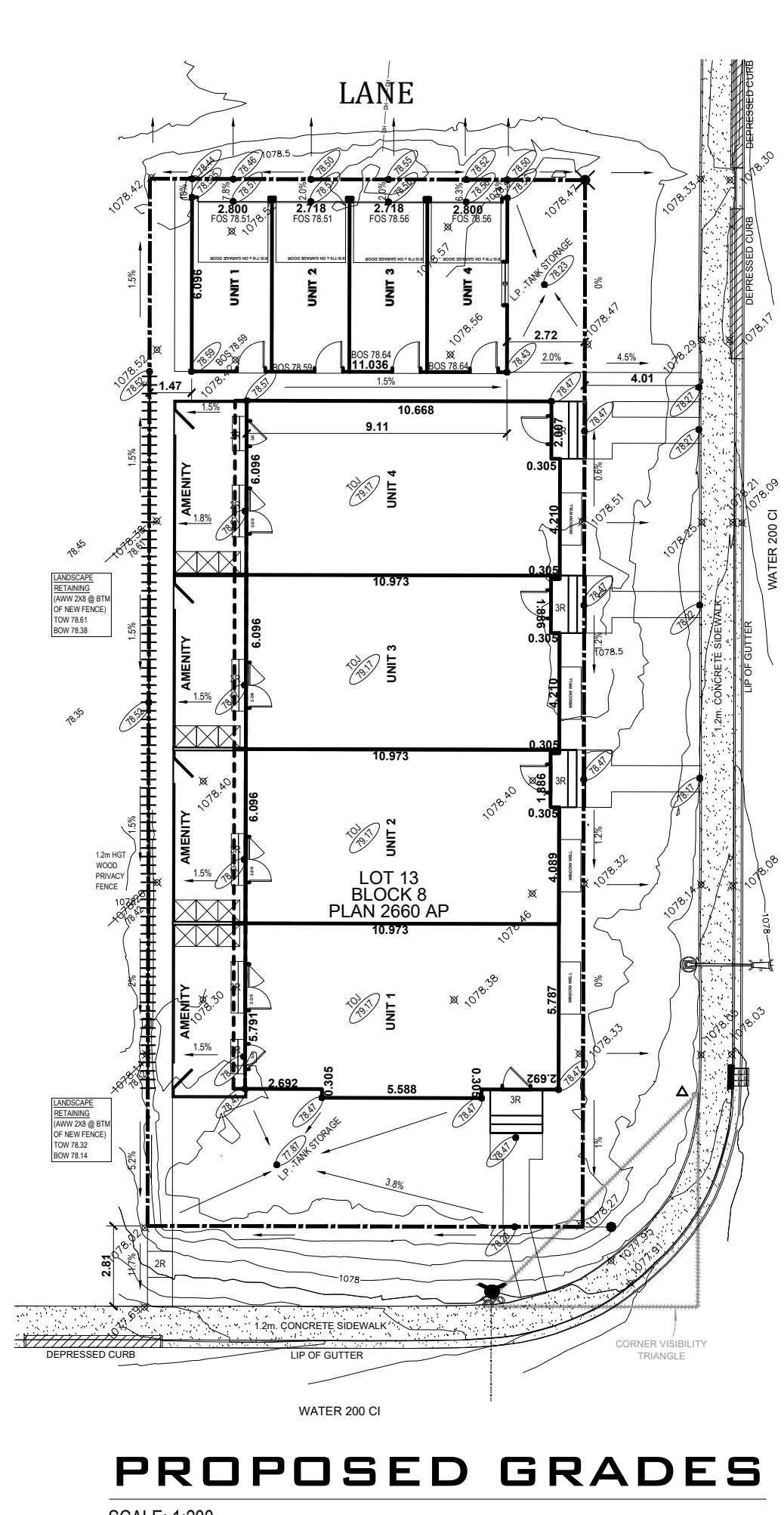
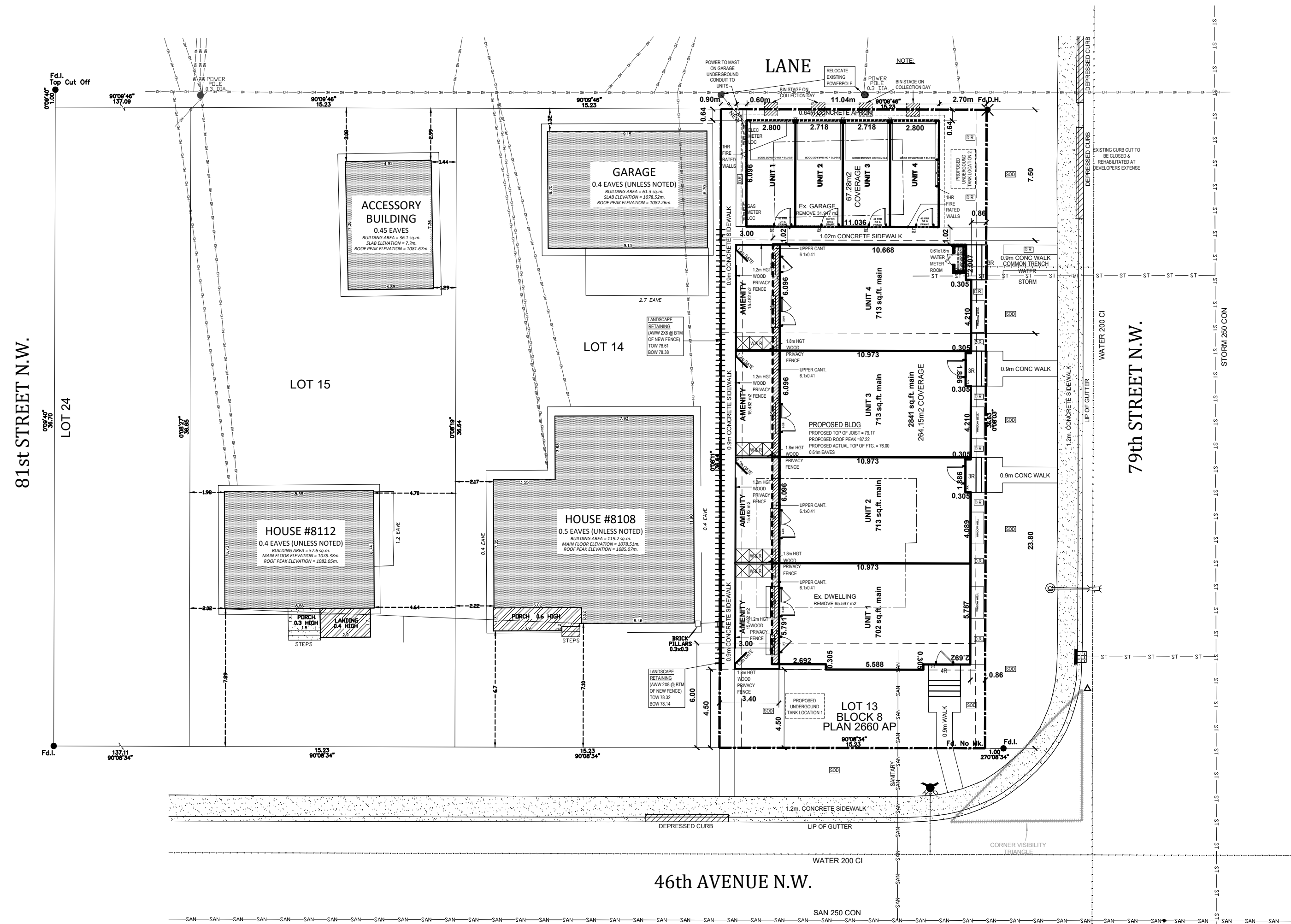
REVISION:	DATE: (y/m/d)
1.	-

DRAWING TITLE:  
**PROPOSED SITE PLAN / BLOCK PLAN**

PROJECT #:	2021-2237
DATE:	2020.11.27
SCALE:	AS SHOWN
DRAWN BY:	LL

DRAWING #:  
**DP2**

PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.



**GENERAL NOTES:**

- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE
- CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK
- ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START
- FINAL NUMBER OF RISERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION
- PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD
- IF A SUMP PUMP IS REQUIRED THAT IT TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM
- STREET LAMPS, SITE FURNITURE, ETC. ARE SHOWN AS PER SURVEYOR AND ACTUAL FIXTURES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- BEARING CERTIFICATE REQUIRED
- ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK PROFILE PLANS
- ADDITIONAL TREES AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS (2) TWO PER SUBDIVIDED LOT
- PLANTING TO BE COMPLETED WITHIN THE RESPECTIVE SUBJECT SITE
- EXISTING DRIVEWAY TO BE REHABILITATED AT DEVELOPER'S EXPENSE
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE
- CITY REGULATIONS IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.
- FENCES ARE NOT SPECIFIED UNDER THIS APPLICATION, BUT MUST BE BUILT TO MEET CITY OF CALGARY BYLAWS

**PARCEL COVERAGE:**

TOTAL PARCEL AREA	558.086 SQ. M. (0.055807ha)
DENSITY	71.66(Units) 4 UNITS PROPOSED
MAXIMUM ALLOWABLE PARCEL COVERAGE (80%)	334.84 SQ. M.
HOUSE FOOTPRINT INCLUDING PROJECTIONS	264.15 SQ. M.
< THAN 2.0M ABOVE GRADE	
TOTAL COMBINED FOOTPRINT COVERAGE	331.43 SQ. M.
TOTAL PARCEL COVERAGE	59.39 %

EXISTING HOUSE TO BE REMOVED: 65.597 m<sup>2</sup>  
 EXISTING GARAGE TO BE REMOVED: 31.947 m<sup>2</sup>

**CONTEXTUAL BUILDING SETBACKS:**

- 537 (1)(a) BUILDING SETBACK FROM FRONT PROPERTY LINE TO A MAXIMUM OF 4.5 METRES; OR (DAY WINDOWS AND EAVES MAY PROJECT A MAX OF 2.0M INTO THE FRONT SETBACK AREA)
- 539 (1) BUILDING SETBACK FROM SIDE PROPERTY LINE
- 539 (7) FOR A CORNER PARCEL, THE MINIMUM BUILDING SETBACK FROM A SIDE PROPERTY LINE SHARED WITH A STREET
- 535 (2) MAX BUILDING DEPTH FROM FRONT PROPERTY LINE FOR A ROWHOUSE BUILDING LOCATED ON A CORNER PARCEL
- THERE IS NO MAXIMUM BUILDING DEPTH WHERE THE BUILDING SETBACK FROM THE SIDE PROPERTY LINE SHARED WITH ANOTHER PARCEL IS A MINIMUM OF 0.6 METRES FOR ANY PORTION OF THE ROWHOUSE BUILDING LOCATED BETWEEN THE REAR PROPERTY LINE AND:
- 345 (1)(b) GARAGE SETBACK (MINIMUM)

**SITEPLAN LEGEND:**

- BASEMENT WINDOW
- MAIN FLOOR WINDOW
- UPPER FLOOR WINDOW
- WINDOW WELL
- EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN
- NEW ELEVATIONS ARE METRIC AND ARE SHOWN
- PRESSURE TREATED LANDSCAPE RETAINING WALL
- DECORATIVE ROCK

**SURVEY LEGEND**

- MAJOR CONTOUR 1.0m INTERVAL
- MINOR CONTOUR 0.2m INTERVAL
- FOUND STATUTORY IRON POST
- FOUND DRILL HOLE
- FOUND NO MARK
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- CATCH BASIN
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**SURVEY NOTES**

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**TREE DATA**

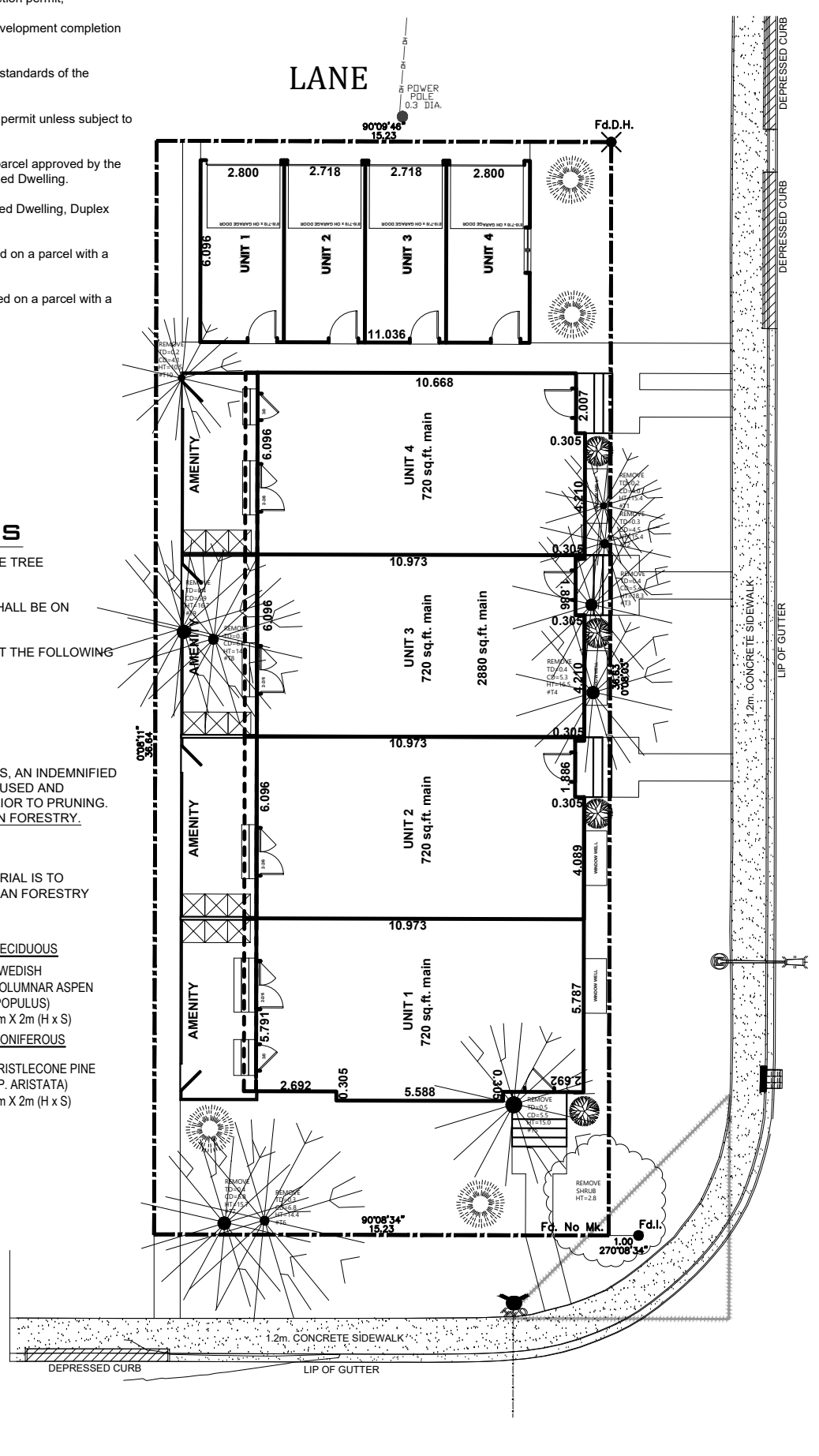
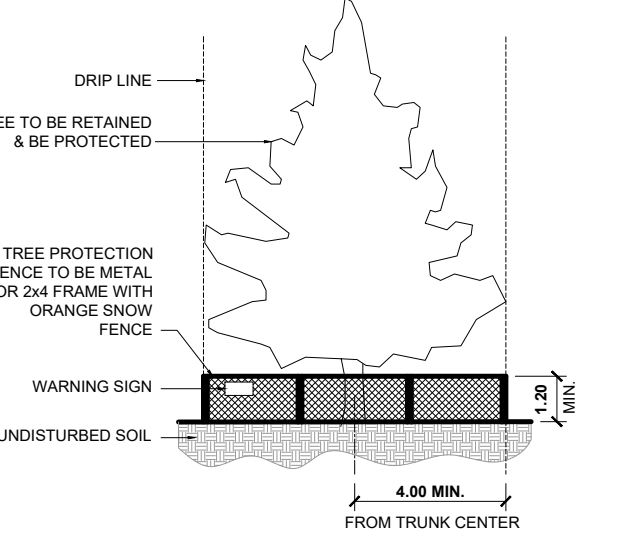
TREE	Type	Canopy	Height	Diameter	Disposition
1	Coniferous	4.0	15.4	0.2	Remove
2	Coniferous	4.5	15.4	0.3	Remove
3	Coniferous	5.4	18.3	0.4	Remove
4	Coniferous	5.3	16.5	0.4	Remove
5	Coniferous	5.5	15.0	0.5	Remove
6	Coniferous	6.8	14.4	0.3	Remove
7	Coniferous	5.8	15.7	0.4	Remove
8	Coniferous	6.0	14.9	0.3	Remove
9	Coniferous	5.9	16.7	0.4	Remove
10	Coniferous	4.1	10.5	0.2	Remove

**LANDSCAPE RULES | REQUIREMENTS**

- 346.1 (1) In Developed Areas, trees required by this section:
- (a) may be provided through the planting of new trees or the preservation of existing trees;
- (b) must be provided on a parcel within 12 months of issuance of a development completion permit;
- (c) must be maintained on the parcel for a minimum of 24 months after issuance of a development completion permit;
- (d) shall not be required to be shown on a plan that is part of an application for development permit unless subject to subsection (f); and
- (f) may be provided through the planting of a new tree in an adjacent boulevard to the parcel approved by the Development Authority for a Duplex Dwelling, Semi-detached Dwelling or Single Detached Dwelling.
- (2) A minimum of 2.0 trees must be provided for each unit of a Contextual Semi-detached Dwelling, Duplex Dwelling, Rowhouse Building or Semi-detached Dwelling.
- (3) Where a Contextual Single Detached Dwelling or Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0 metres a minimum of 2.0 trees must be provided.
- (4) Where a Contextual Single Detached Dwelling or Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0 metres a minimum of 3.0 trees must be provided.
- (5) A minimum of 1.2 trees per unit must be provided for a Cottage Housing Cluster.
- (6) The requirement for the provision of 1.0 tree is met where:
- (a) a deciduous tree has a minimum caliper of 60 millimetres; or
- (b) a coniferous tree has a minimum height of 2.0 metres;
- (7) The requirement for the provision of 2.0 trees is met where:
- (a) a deciduous tree has a minimum caliper of 85 millimetres; or
- (b) a coniferous tree has a minimum height of 4.0 metres.

**TREE PROTECTION MEASURES**

- A. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- B. ALL STAGING, HOARDINGS AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
- C. AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
  1. COMMENCEMENT
  2. WHEN CLEARANCE PRUNING COMMENCES
- D. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
  1. BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS
  2. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDENEFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE OBTAINED FROM PARKS AND URBAN FORESTRY PRIOR TO PRUNING
  3. NO ROOT PRUNING SHALL OCCUR WITHOUT THE APPROVAL OF URBAN FORESTRY.
  4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE
  5. SUPPLEMENTAL WATERING WHEN REQUIRED
  6. SOIL CORRECTION WHERE REQUIRED
  7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENDOURCH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
- E. TREE PROTECTION MEASURES POST CONSTRUCTION:
  1. SUPPLEMENTAL WATERING WHEN REQUIRED
  2. SOIL CORRECTION WHERE REQUIRED
- F. ON-SITE TREE PROTECTION ADMINISTRATOR: ELITE URBAN CONCEPTS - CONTACT # 403-000-0000



**EXISTING SITE/BLOCK PLAN SCALE: 1:200**

**PROPOSED STREETSCAPE SCALE: 1:200**

**EXISTING ADJACENT PROFILES SCALE: 1:200**