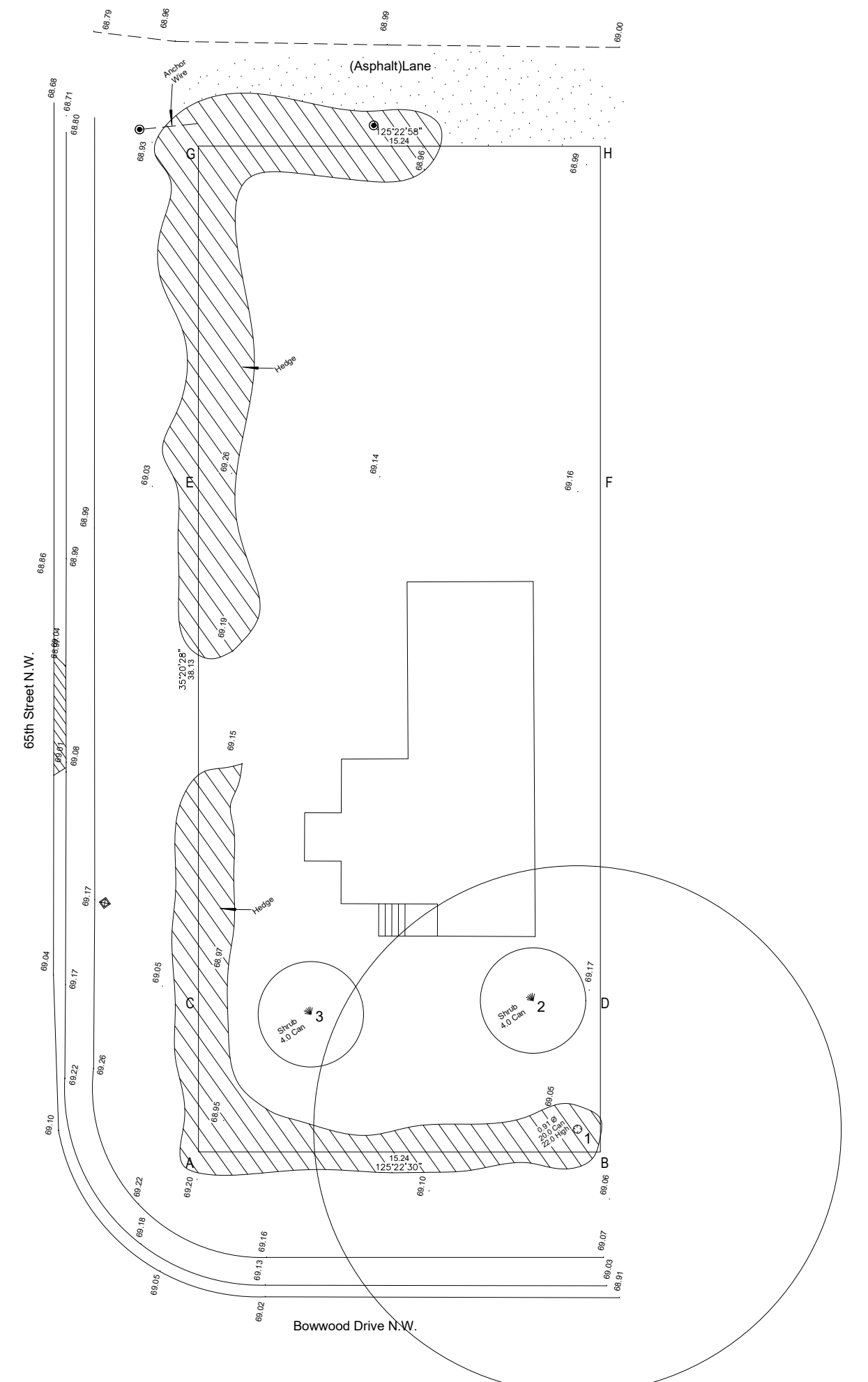


EXISTING SITE/BLOCK PLAN SCALE: 1:200



EXISTING TREEPLAN & GRADES SCALE: 1:200

**SURVEY LEGEND**

Statutory iron survey post found shown thus  and are stamped P235

Drill hole found shown thus

Metal plug placed shown thus

Temporary point shown thus

Iron bar found shown thus

Alberta Survey Control Marker (ASCM) shown thus

Delta (Central) angle of arc shown thus  $\Delta$

Eave Fascias are shown thus

Fences are shown thus

Building foundation shown thus

Gas line shown thus

Power Lines shown thus

Overhead Utilities shown thus

Sewer Lines shown thus

Storm Lines shown thus

Water Lines shown thus

Telus Lines shown thus

Coniferous trees are shown thus

Deciduous trees are shown thus

Shrubs are shown thus

Tree Canopy shown thus

Catch Basins shown thus

Manholes shown thus

Catch Basin Manholes shown thus

Power Poles shown thus

Fire Hydrant shown thus

Street Lights shown thus

Water valves shown thus

Spot Elevations are shown thus

Concrete surfaces are shown thus

Asphalt Pathway shown thus

Utility Rights of Way are shown thus

Subject Property is shown thus

Gas Valve shown thus

Sign shown thus

**ABBREVIATIONS**

A	Arc	MWC	Monitoring Well Cap
AC	Access Cover	N	North
ag	Above Ground	NAD	North American Datum
ALS	Alberta Land Surveyor	No	Number
ARW	Access Right of Way	NT	Non-Tangential
ASCM	Alberta Survey Control Marker	NTS	Not to Scale
blk	Block	ODRW	Overhead Drainage RW
C	Short Curve	P	Brass Cap
C of T	Cartilage of Title	Ped	Pedestal
calc	calculator	PI	4 Pits
Cent.	Centerline	Pos	Position
CB	Chert Bearing	PL	Pipeline
ck m.	check measured	PLU	Public Utility Lot
Conc.	Concrete	R	Radius
cs	counter sunk	Re-est	Re-established
E	East	Ref	Reference
ER	Environmental Reserve	Res	Restored
Est	Established	RGE	Range
FC	Filter Cap	RW	Right of Way
FD	Found	RU	Basal
GNS	Global Navigation Satellite System	S	South
ha	Hectare	SEC	Section
I	Stationary Iron Post	TCD	Top Cut Off
L	Short Line	TMP	Township
M	Mount of Meridian	URW	Utility RW
Mk	Mark	W	West
Md	Marker	STM	3 <sup>rd</sup> Transverse Mercator
Mp	Marker Post	$\Delta$	Central Delta Angle
MR	Municipal Reserve		

**NOTE**

Distances are shown in metres and decimals thereof.

Elevations are geodesic and derived from ASCM 146837, elevation = 1073.426

To obtain actual elevation add 1000 to spot elevations.

Fences are within 0.10m of property line unless otherwise noted.

Eave dimensioned to the line of the fascia.

Actual locations of all facilities are to be confirmed prior to excavation.

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**SURVEYOR**

**ROBERT M. WALLACE, A.L.S.**

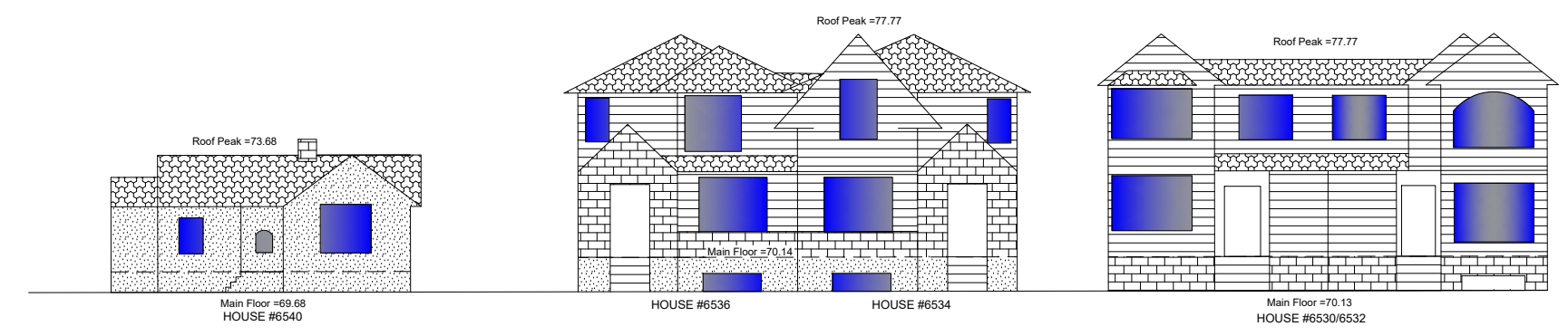
Date of Survey: March 26th, 2020  
 Certified Correct this 30th day of March, 2020.

**ENCUMBRANCES, LIENS & INTERESTS**

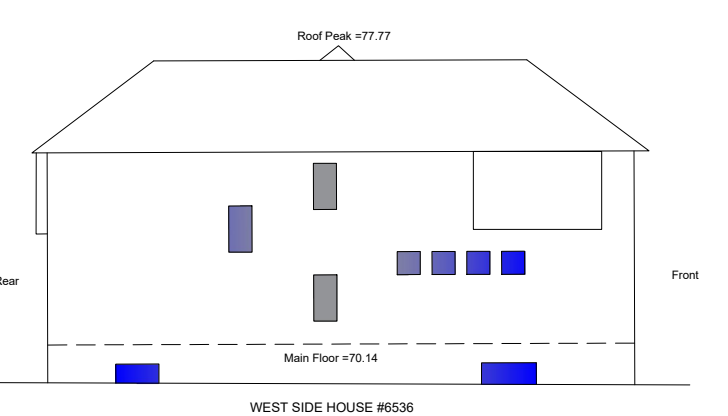
TITLE: 091 140 310 (Severed March 25th, 2020)  
 Restrictive Covenant: 6162 EW  
 Caveat: 051 035 278

**TREE DATA**

TREE	Type	Species	Tree ID	Value	Canopy	Height	Diameter	Location
1	Deciduous	-		20.0	22.0	0.91	PRIVATE	
2	Shrub/Bush	-		4.0	-	-	PRIVATE	
3	Shrub/Bush	-		4.0	-	-	PRIVATE	
4								
5								
6								
7								
8								



EXISTING STREETSCAPE SCALE: 1:200



EXISTING ADJACENT PROFILES SCALE: 1:200



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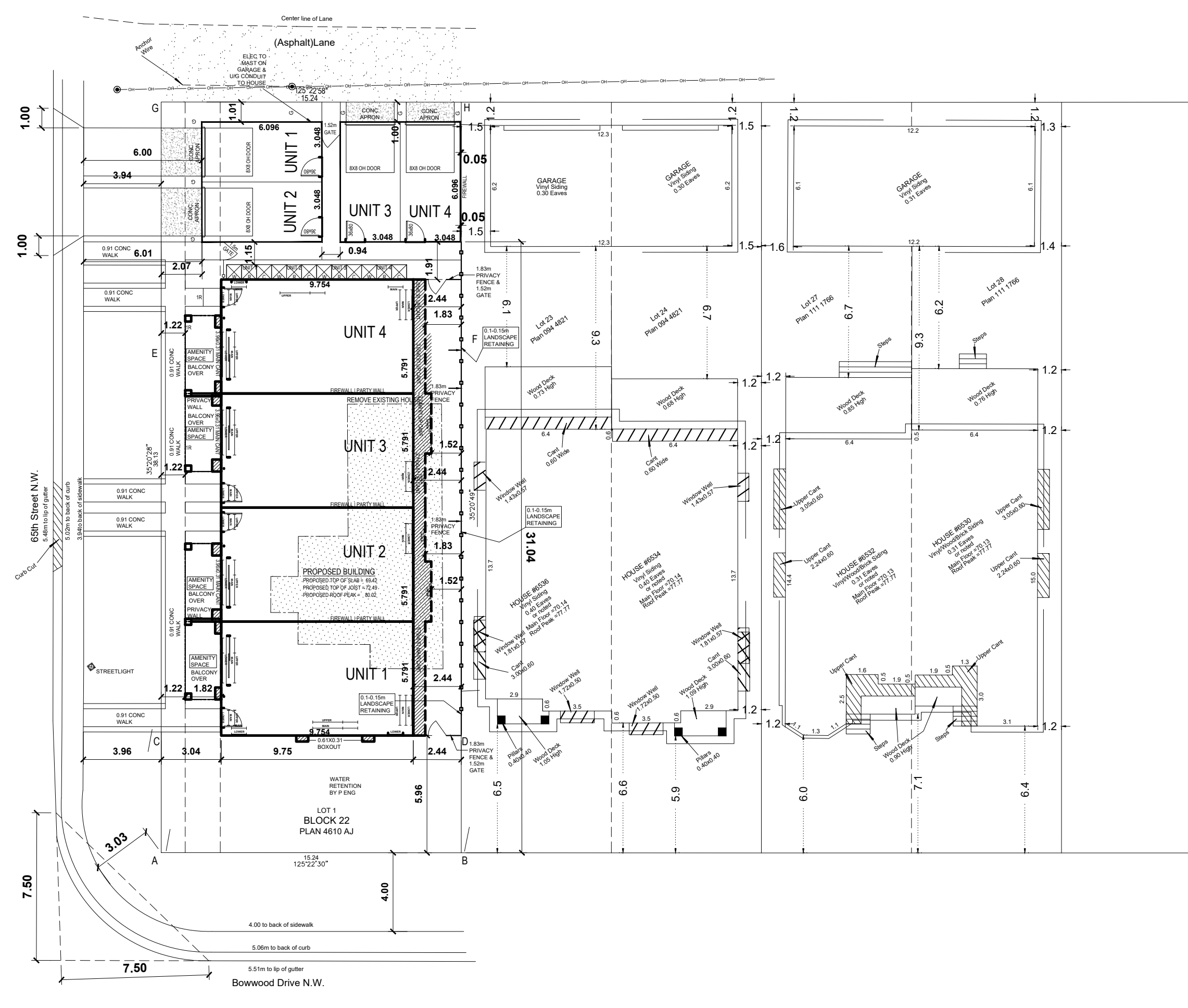
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DRAWING TITLE:  
**DEVELOPMENT PERMIT EXISTING SITEPLAN**

PROJECT #: 2020-2120  
 DATE: 2020.05.20  
 DRAWN BY: LL  
 SHEET

**DD1.1**  
 SCALE: 3/16"=1'-0"



PROPOSED SITE/BLOCK PLAN SCALE: 1:200

LANDSCAPING REQUIREMENTS:

NOTE:  
NOT INCLUDED IN 40% LANDSCAPE REQUIREMENTS  
PROPOSED PRINCIPAL BUILDING AREA - M<sup>2</sup> 1% 225.94 m<sup>2</sup> 38.87%  
PROPOSED ACCESSORY BUILDING AREA - M<sup>2</sup> 1% 74.32 m<sup>2</sup> 12.79%  
PROPOSED DRIVEWAY/PARKING ACCESS 14.96 m<sup>2</sup> 2.57%  
LANDSCAPING RECYCLING 6.81 m<sup>2</sup> 1.19%  
TOTAL NON LANDSCAPING COVERAGE 322.13 m<sup>2</sup> (52.42%)  
TOTAL LANDSCAPING 405.90 m<sup>2</sup> (44.58%)

ENHANCED LANDSCAPING RULES  
1 TREE AND 2 SHRUBS 2550 M. OF LANDSCAPE AREA PROVIDED  
MIXTURE OF MIN 50% LARGE TO SMALL TREES  
MIXTURE OF MINIMUM 1/3 CONIFEROUS TO DECIDUOUS TREES  
MINIMUM SIZE OF SMALL DECIDUOUS 85mm  
MINIMUM SIZE OF LARGE DECIDUOUS 85mm  
MINIMUM HEIGHT OF SMALL CONIFEROUS 3.0m OR 10' 0"  
MINIMUM HEIGHT OF LARGE CONIFEROUS 4.0m OR 13' 0"

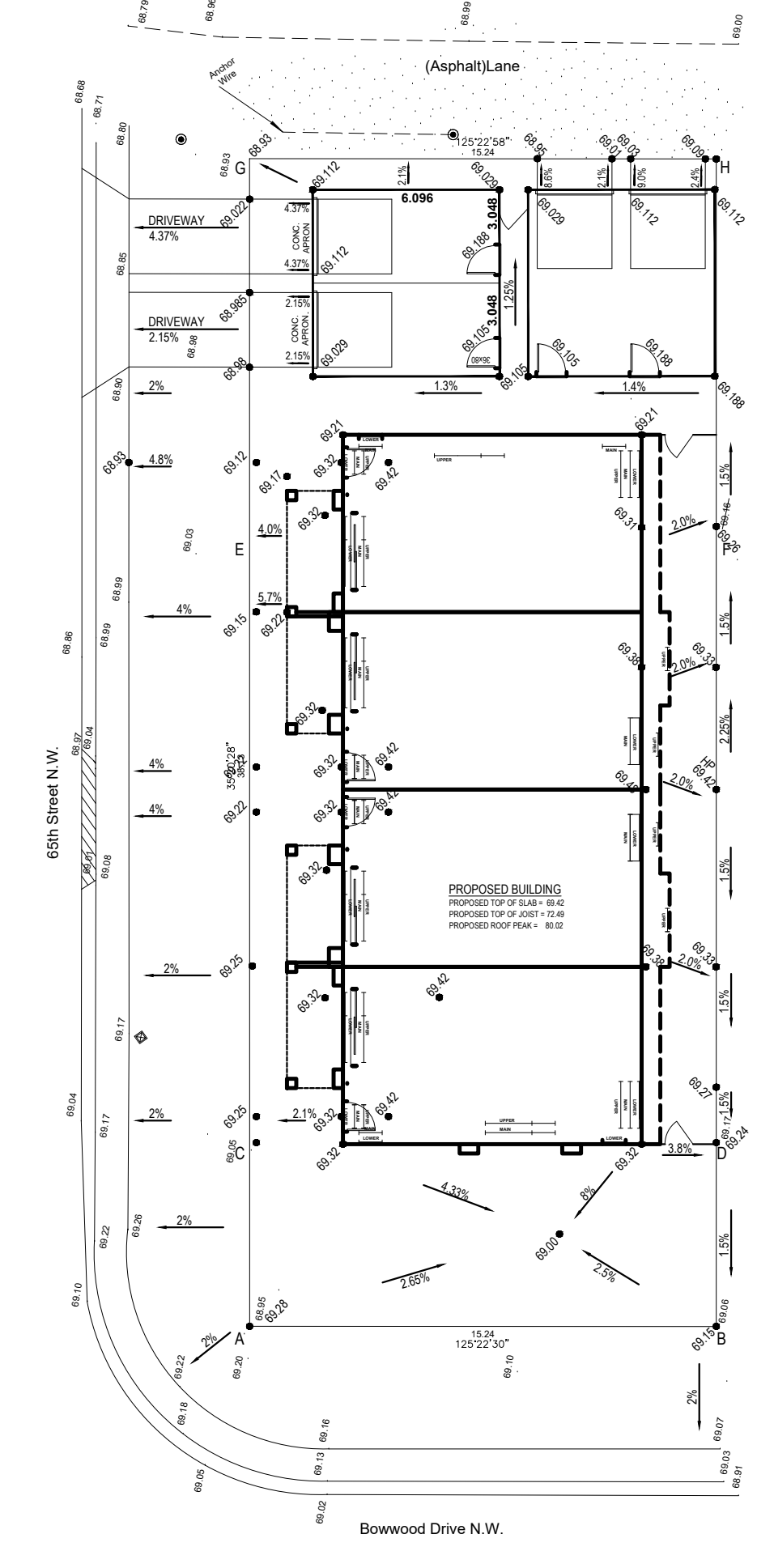
THEREFORE:  
WE REQUIRE: 405.90 m<sup>2</sup> / 25m<sup>2</sup> = 16.24 (17) TREES  
BROKEN DOWN AS:  
8 LARGE (S. DECIDUOUS / 4 CONIFEROUS)  
8 SMALL (S. DECIDUOUS / 4 CONIFEROUS)  
WE REQUIRE: 405.90 m<sup>2</sup> / 25m<sup>2</sup> = 16.24 (17) SHRUBS

SMALL LARGE DECIDUOUS  
SCHUBERT CHERRY (PRUNUS VIRGINIANA)  
AMUR MARLE (ACER GINNALE)  
SWEDISH COLUMNAR ASPEN (POPULUS)

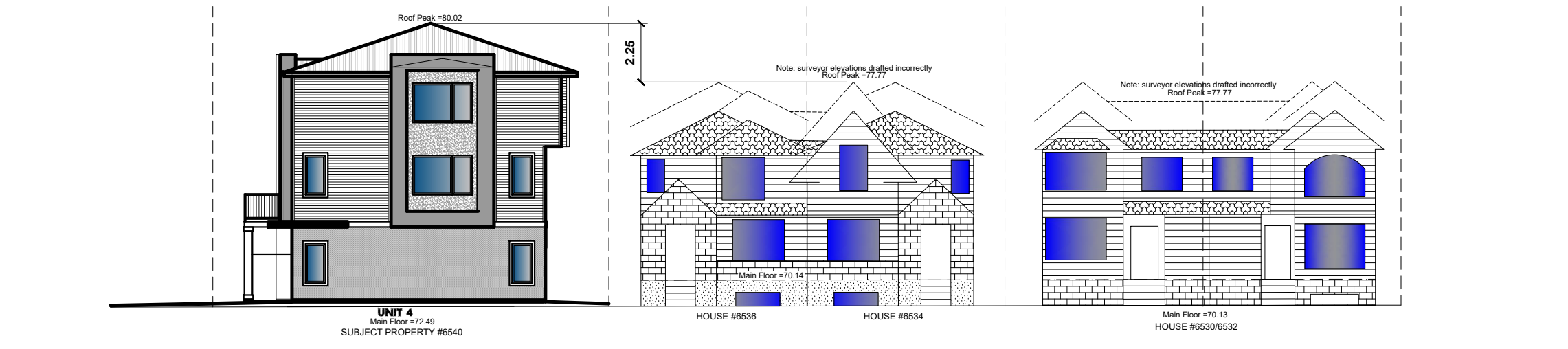
CONIFEROUS  
BRISTLECONE PINE (P. ARISTATA)  
PONDEROSA PINE UPRIGHT (PINUS PONDOSA)

SHRUBS/BUSHES  
TYPE A BUSH MIXTURE OF NANKING CHERRY, SAGATON & DWARF BUDDEN PINE  
TYPE B BUSH MIXTURE OF LEAF, COSTA CHERRY & DWARF BUDDEN PINE  
\*SHRUBS MUST BE MIN. HGT OR SPREAD OF 0.6m\*

LOW WATER LANDSCAPING  
(A, B, C)  
(A) ALLOW WATER IRRIGATION SYSTEM IS PROVIDED  
(B) THE DELIVERY OF THE IRRIGATED WATER IS CONFINED TO TREES AND SHRUBS  
(C) TREES AND SHRUBS WITH SIMILAR WATER REQUIREMENTS ARE GROUPED TOGETHER  
(D) 30% OF LANDSCAPED AREA = 411.94 M<sup>2</sup>  
ACTUAL SO2 COVERAGE = 116.32 M<sup>2</sup> OR 28.24%  
(E, F)  
ALL PLANTS SHOWN ARE FROM 'LOW WATER' TABLES.  
FINAL PLANT SELECTION AS PER DEVELOPER

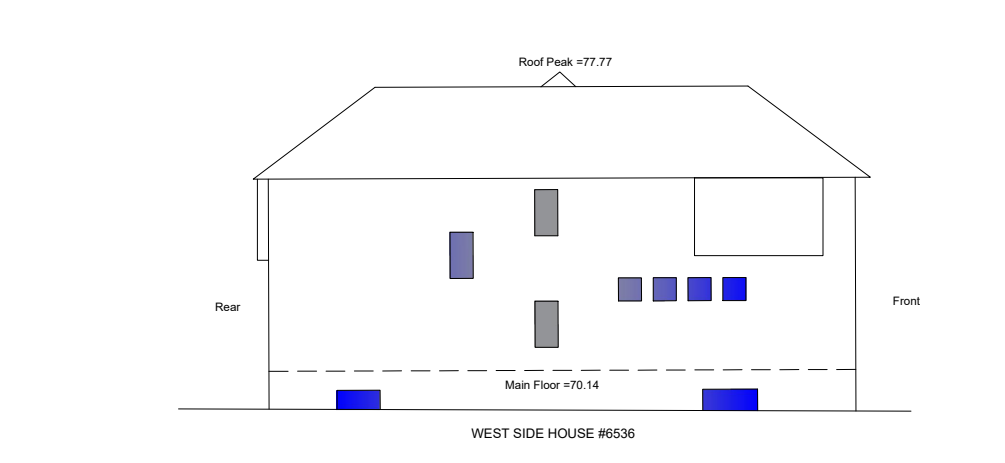


PROPOSED GRADES SCALE: 1:200



PROPOSED SOUTH STREETSCAPE SCALE: 1:200

Bowwood Drive N.W.



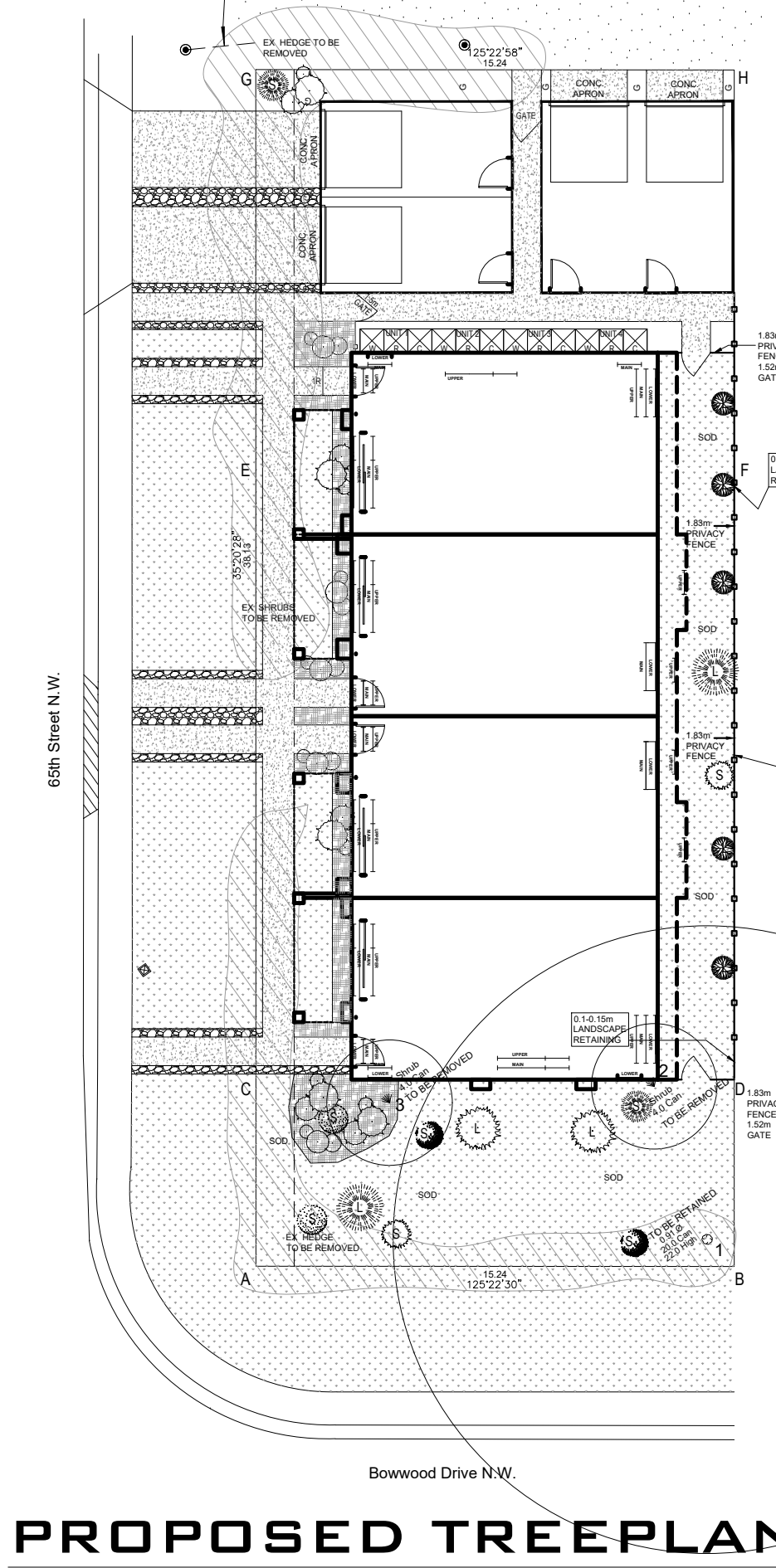
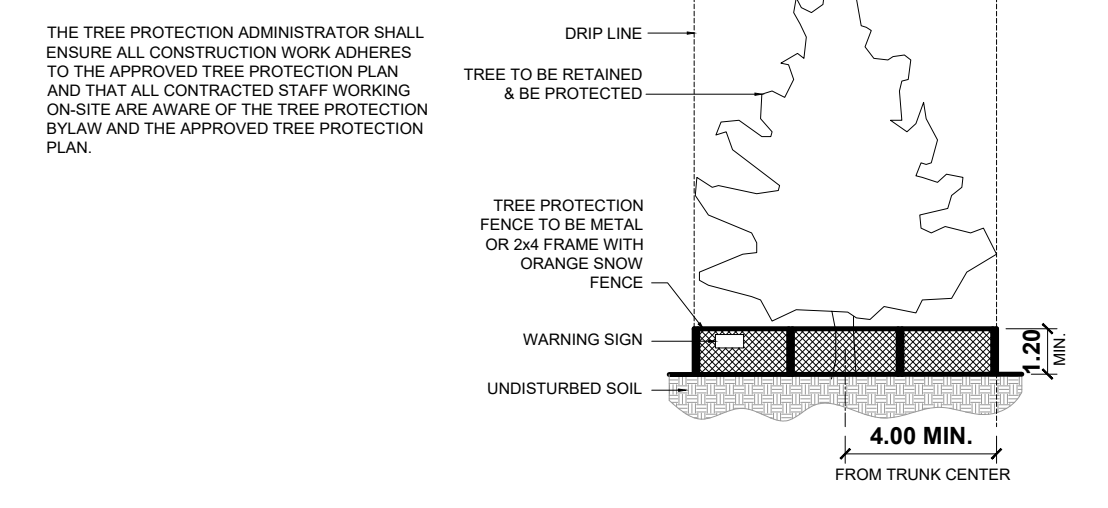
EXISTING ADJACENT PROFILES SCALE: 1:200



PROPOSED WEST ELEVATION SCALE: 1:200  
65th Street N.W.

TREE PROTECTION MEASURES

- A. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.  
B. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.  
C. AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:  
1. COMMENCEMENT  
2. WHEN CLEARANCE PRUNING COMMENCES  
CONTACT AN URBAN FORESTRY TECHNICIAN AT 3-1-1.  
D. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:  
1. BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS.  
2. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS AND URBAN FORESTRY PRIOR TO PRUNING.  
3. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATIONS.  
4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.  
5. SUPPLEMENTAL WATERING WHEN REQUIRED.  
6. SOIL CORRECTION WHEN REQUIRED.  
7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCRASH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.  
E. TREE PROTECTION MEASURES POST CONSTRUCTION:  
1. SUPPLEMENTAL WATERING WHEN REQUIRED  
2. SOIL CORRECTION, WHERE REQUIRED  
F. ON-SITE TREE PROTECTION ADMINISTRATOR:  
WAVE HOMES - CONTACT # 403-764-0222



PROPOSED TREEPLAN SCALE: 1:200

- GENERAL NOTES:  
• ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE  
• CONTRACTOR TO VERIFY ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK  
• ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER/DESIGNER PRIOR TO CONSTRUCTION START  
• FINAL NUMBER OF TREES AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON-SITE PRIOR TO FABRICATION  
• PLUMBER TO ENSURE THAT THE SEWER PIPE IS LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD  
• IF A SUMP PUMP IS REQUIRED THAT IT IS TO BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD  
• STREET LAMPS, SITE FURNITURE, ETC. ARE TO BE LOCATED AS PER SURVEYOR AND ACTUAL FIXTURES TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION  
• BEARING CERTIFICATE REQUIRED  
• ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK PROFILE PLANS.  
• ADDITIONAL TREES AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS (2) TWO PER SUBDIVIDED LOT  
• PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE  
• EXISTING DRIVEWAY TO BE REHABILITATED AT DEVELOPER'S EXPENSE  
• ALL EXISTING STRUCTURES ON-SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED  
• CONSTRUCTION ACCESS TO BE FROM REAR LANE  
• CITY BOUNDARIES TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.  
• FENCES ARE NOT SPECIFIED UNDER THIS APPLICATION, BUT MUST BE BUILT TO MEET CITY OF CALGARY BYLAWS

PARCEL COVERAGE:

TOTAL PARCEL AREA	558.70 SQ.M
MAXIMUM ALLOWABLE PARCEL COVERAGE (45%)	251.42 SQ.M
HOUSE FOOTPRINT INCLUDING PROJECTIONS	176.32 SQ.M
+ THAN 2 M ABOVE GRADE	74.32 SQ.M
GARAGE FOOTPRINT (MAX 7.5 SQ.M.)	200.64 SQ.M
TOTAL PARCEL COVERAGE	44.86 %

EXISTING HOUSE TO BE REMOVED 89.01m<sup>2</sup>  
EXISTING GARAGE TO BE REMOVED 28.50m<sup>2</sup>

CONTEXTUAL BUILDING SETBACKS:

BUILDING SETBACK FROM FRONT PROPERTY LINE (AVERAGE ADJACENT CONTEXTUAL DWELLINGS MINUS 1.5m)	7.55m
BAY WINDOWS AND EAVES MAY PROJECT A MAX OF 2.0m INTO THE FRONT SETBACK AREA	
BUILDING SETBACK FROM SIDE PROPERTY LINE	1.2m
MAXIMUM BUILDING DEPTH FROM FRONT PROPERTY LINE (GREATER OF AVERAGE ADJACENT CONTEXTUAL DWELLINGS LESS 5m OR 60/40 RULE FOR SEMIS)	27.25m
GARAGE SETBACK (MINIMUM)	22.00m
	0.60m

SITEPLAN LEGEND:

- BASEMENT WINDOW LO  
MAIN FLOOR WINDOW LP  
UPPER FLOOR WINDOW LP  
WINDOW WELL WW  
EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN 60.98 ± 0.30  
NEW ELEVATIONS ARE METRIC AND ARE SHOWN  
PRESSURE TREATED LANDSCAPE RETAINING WALL: HHHH

SURVEY LEGEND

- Stability iron survey post found shown thus  
Stability iron survey post placed shown thus  
Drill hole found shown thus  
Drill hole placed shown thus  
Metal plug found shown thus  
Metal plug placed shown thus  
Temporary point shown thus  
Iron bar found shown thus  
Delta (Central angle) are shown thus  
Alberta Survey Control Marker (ASCM) shown thus  
Delta (Central angle) are shown thus  
Eave Fascia are shown thus  
Fences are shown thus  
Building foundation shown thus  
Gas line shown thus  
Power Lines shown thus  
Overhead Utilities shown thus  
Sanitary Lines shown thus  
Storm lines shown thus  
Water lines shown thus  
Tells Lines shown thus  
Coniferous trees are shown thus  
Deciduous trees are shown thus  
Shrubs are shown thus  
Tree Canopy shown thus  
Catch Basins shown thus  
Manhole shown thus  
Catch Basin Manholes shown thus  
Power Poles shown thus  
Fire Hydrant shown thus  
Street Lights shown thus  
Water valves shown thus  
Spot Elevations are shown thus  
Concrete surfaces are shown thus  
Asphalt Pathway shown thus  
Utility Rights of Way are shown thus  
Subject Property is shown thus  
Gate Valve shown thus  
Sign shown thus

ABBREVIATIONS

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ASCM	Alberta Survey Control Marker	(NTS)	Not To Scale
Bk	Block	ODRW	Overland Drainage RW
C of T	Short Curve	P	Press Cap
calc	Calculated	Pcd	Pedestal
Can	Canister	PE	4 Pcs
CB	Chord Bearing	Pl	Placed
CC	Center of Circle	Pos	Position
Conc	Concrete	PPL	Pipeline
count	counter sunk	PUL	Public Utility Lot
E	East	R	Radius
ER	Environmental Reserve	Re-est	Re-established
Est	Established	Ref	Reference
FC	Filler Cap	Rest	Restored
Fd	Feature	RGE	Range
GNS3	Global Navigation Satellite System	RW	Right of Way
ha	Hectare	(R)	Radial
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li	Short Line	TCD	Top Cut Off
M	Mound or Meridian	TWP	Township
Mk	Mark	URW	Utility RW
Md	Marked	W	West
Mp	Marker Post	3TM	3" Transverse Mercator
MR	Municipal Reserve	Δ	Central Delta Angle

NOTE

Distances are shown in metres and decimals thereof.  
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To obtain actual elevation add 1000 to spot elevations.  
Fences are within 0.10m of property line unless otherwise noted.  
Eave dimensioned to the line of the fascia.  
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SURVEYOR

ROBERT M. WALLACE, A.I.S.  
Date of Survey: March 26th, 2020  
Certified Correct this 30th day of March, 2020.

ENCUMBRANCES, LIENS & INTERESTS

TITLE: 091140310 (Searched March 25th, 2020)  
Restrictive Covenant: 6183 EW  
Caveat: 051 035 276

TREE DATA

TREE	Type	Species	Tree ID	Value	Canopy	Height	Diameter	Location	Status
1	Deciduous	-			20.0	22.0	0.91	PRIVATE	RETAIN
2	Shrub/Bush	-			4.0	-	-	PRIVATE	REMOVE
3	Shrub/Bush	-			4.0	-	-	PRIVATE	REMOVE
4									
5									
6									
7									
8									



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DRAWING TITLE:  
DEVELOPMENT PERMIT BLOCKPLAN  
PROJECT #: 2020-2120  
DATE: 2020.05.20  
DRAWN BY: LL  
SHEET

DD1.2  
SCALE: 3/16"=1'-0"