



6504 34 Avenue NW 4-Plex Resignation Project

DEVELOPMENT PERMIT SET

LEGAL DESCRIPTION:
LOT 5 BLOCK 27, PLAN 4610 AJ

MUNICIPAL ADDRESS:
6504 34 Avenue NW
CALGARY, ALBERTA

COMMUNITY: BOWNESS
CURRENT ZONING DESIGNATION: R-C2
PROPOSED ZONING RE-DESIGNATION: R-CG

SITE AREA: 566.50 m²
PROPOSED PRINCIPAL BUILDING AREA - M² | %: 225.94 m² | 39.9%
PROPOSED ACCESSORY BUILDING AREA - M² | %: 74.32 m² | 13.1%
PROPOSED TOTAL COVERAGE - M² | %: 300.26 m² | 53.0%
MAXIMUM BUILDING HEIGHT: 11m (from grade)
SITE FRONTAGE: 15.24m

GENERAL REQUIREMENTS:
PROJECT MUST FOLLOW CITY BYLAW 1P2007
PROJECT SHOULD BE SENSITIVE TO THE BOWNESS ARP
PROJECT SHOULD BE SENSITIVE TO THE CALGARY PLAN ACCOMMODATING GROWTH
PROJECT SHOULD BE SENSITIVE TO THE MUNICIPAL DEVELOPMENT PLAN
PROJECT SHOULD BE SENSITIVE TO THE CALGARY TRANSPORTATION PLAN

CALCULATIONS:

EXISTING HOUSE TO BE REMOVED: 124.72 m²

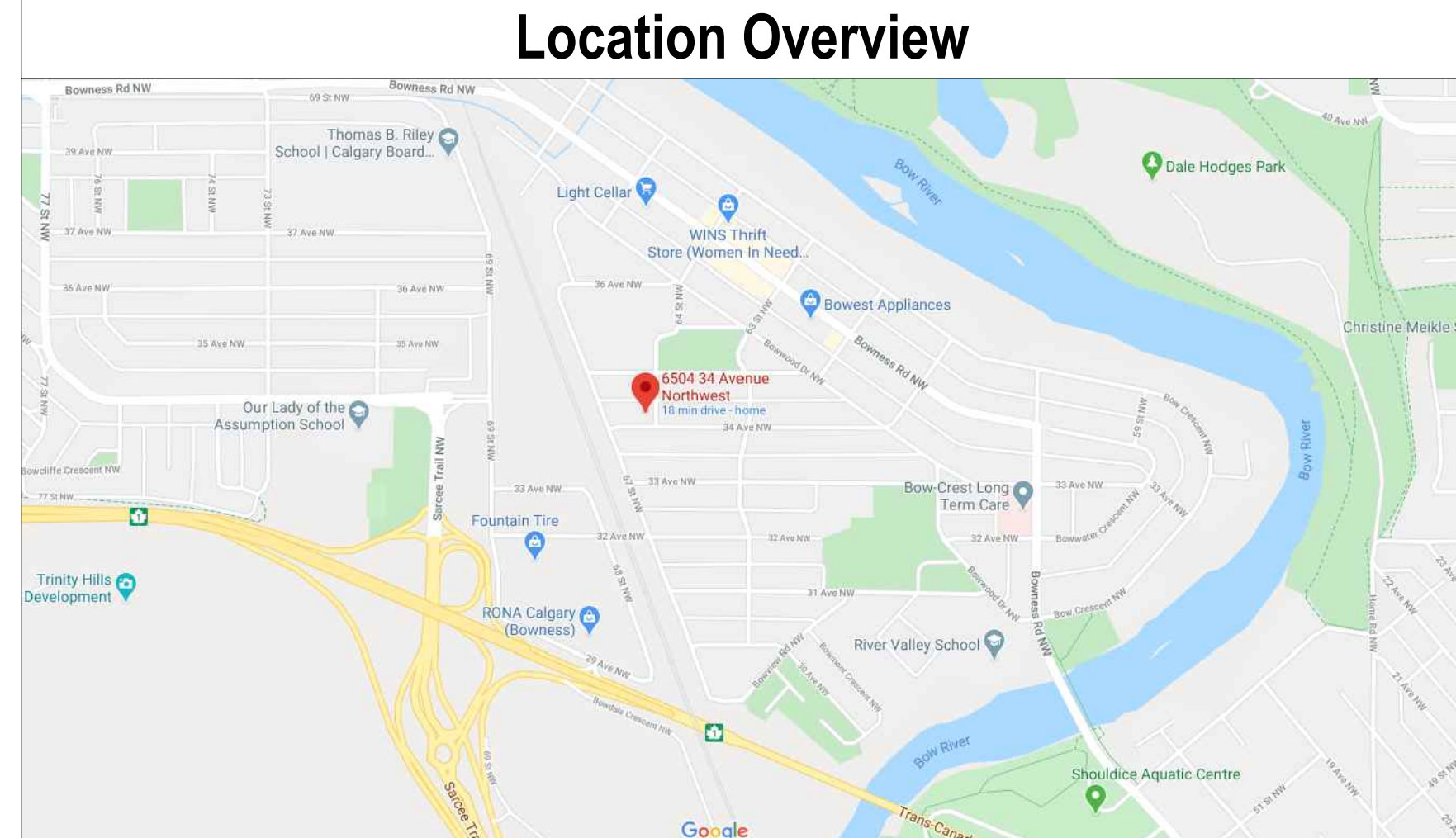
GROSS FLOOR AREA (GFA):
EXISTING BUILDING: 124.72 m²
EXISTING GFA: 124.72 m²
PROPOSED BUILDINGS: 225.94 m²
PROPOSED GFA: 657.36 m²
PROPOSED FLOOR AREA RATIO (FAR): 0.88
DENSITY (UPH): 0.06 UNITS
EXISTING 1*0.05665 ha: 0.06 UNITS
PROPOSED 4*0.05665 ha: 0.23 UNITS

LANDSCAPING REQUIREMENTS:
2 TREES PER UNIT (1 DECIDUOUS 1 CONIFEROUS)
3 DECIDUOUS TREES TO BE RETAINED
2 DECIDUOUS TREES TO BE PLANTED
3 CONIFEROUS TREES TO BE PLANTED

GENERAL NOTES:
ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED
CONSTRUCTION ACCESS TO BE FROM REAR LAKE
CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED (SEE SITEPLAN FOR ADDITIONAL INFORMATION)

Color Selection | Materials

MATERIAL	MANUFACTURER	STYLE COLOR
ROOFING	IKO	CAMBRIDGE - CHARCOAL GREY
VINYL SIDING	GENTEK	STORM GREY
STUCCO CLADDING	COLOR BY PAINT MANUFACTURER	TO MATCH ARCTIC WHITE IRON GREY
VINYL WINDOWS	PLYGEM	BLACK
CEMENTBOARD TRIM	JAMES HARDIE OR EQUIVALENT	ARCTIC WHITE IRON GREY
STONE/BRICK	N/A	-
METAL SOFFIT/FASCIA GUTTERS/DOWNSPOUTS	TBD	RAINWARE WHITE
METAL RAILING	TBD	WHITE



Location Overview

Key Plan

Site Photos

SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. FT.	SQ. FT.	SQ. FT.	SQ. FT.
	TOTALS	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 4
	MAIN FLOOR	2484	621	621	621	621
	SECOND FLOOR	2666	659	669	669	669
	THIRD FLOOR	n/a	n/a	n/a	n/a	n/a
	TOTAL	5150	1280	1290	1290	1290
	LOWER LEVEL	1926	482	481	481	482
	GRAND TOTAL	7076	1762	1771	1771	1772
	GARAGE(S)	800	200	200	200	200
	FRONT STEP	-	-	-	-	-
	PATIO	548	137	137	137	137

LIST OF DRAWINGS:
DD1.0 COVERPAGE
DD1.1 EXISTING SITEPLAN
DD1.2 PROPOSED SITEPLAN
DD1.3 ELEVATIONS
DD1.4 ELEVATIONS & LOWER
DD1.5 FLOORPLANS
DD1.6 SECTIONS
DD1.7 GARAGE PLANS



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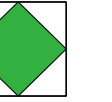
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DRAWING TITLE:
DP APPLICATION COVERPAGE

PROJECT #: 2020-2110
DATE: 2020.06.22
DRAWN BY: LL
SHEET

DD1.0

SCALE: 3/16"=1'-0"



UNIT 4

UNPROTECTED OPENINGS (UNIT 4)	
CODE CHECK	
EXPOSED BUILDING FACE	426 SQ. FT.
MINIMUM SETBACK	9'-3"
PERCENTAGE OF ALLOWED OPENINGS	19.72 %
SQ. FTG. OF ALLOWED OPENINGS	84 SQ.FT.
ACTUAL SQ. FTG. OF OPENINGS	81.5 SQ.FT.

UNIT 3

UNPROTECTED OPENINGS (UNIT 3)	
CODE CHECK	
EXPOSED BUILDING FACE	412 SQ. FT.
MINIMUM SETBACK	9'-3"
PERCENTAGE OF ALLOWED OPENINGS	19.72 %
SQ. FTG. OF ALLOWED OPENINGS	81.2 SQ.FT.
ACTUAL SQ. FTG. OF OPENINGS	80.0 SQ.FT.

UNIT 2

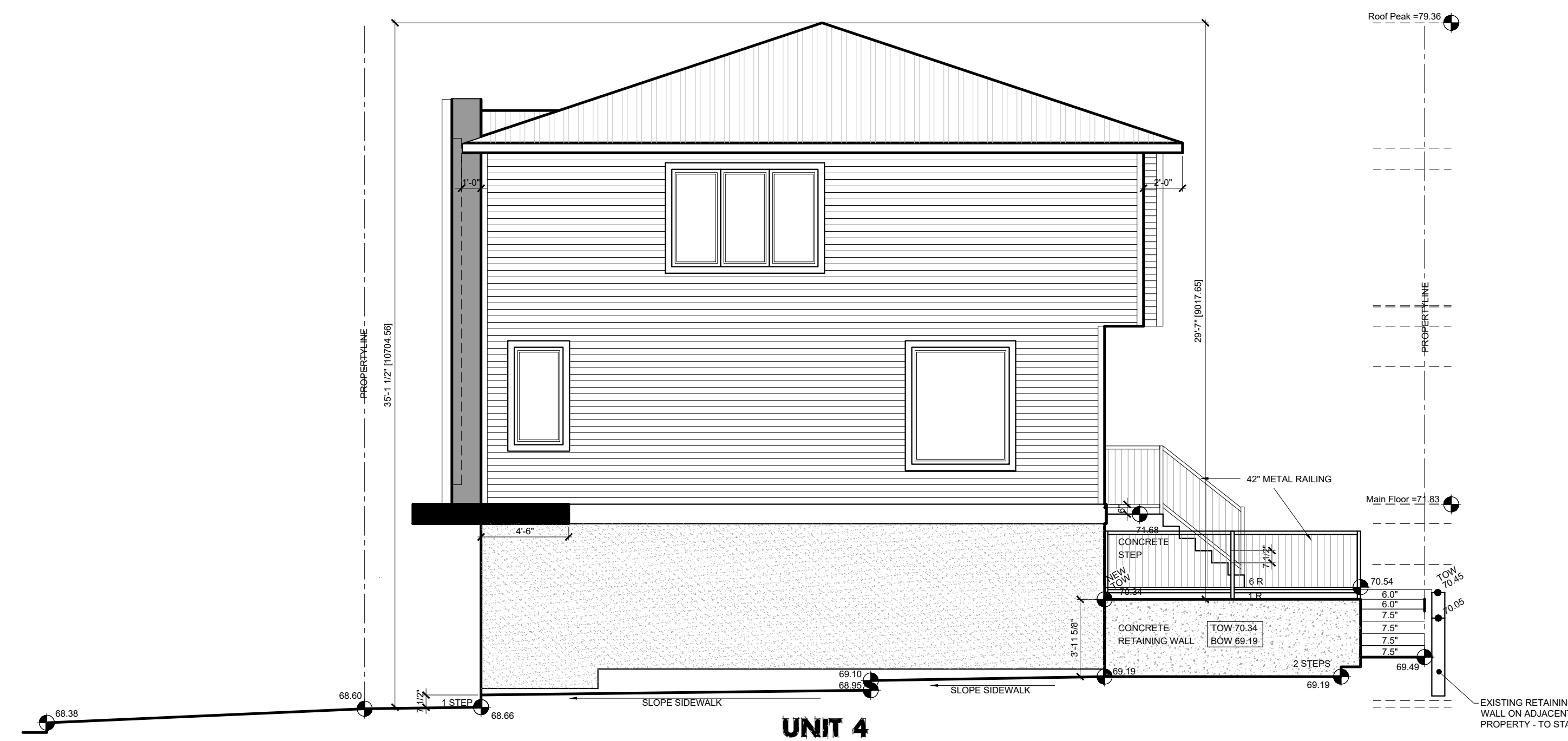
UNPROTECTED OPENINGS (UNIT 2)	
CODE CHECK	
EXPOSED BUILDING FACE	412 SQ. FT.
MINIMUM SETBACK	9'-3"
PERCENTAGE OF ALLOWED OPENINGS	19.72 %
SQ. FTG. OF ALLOWED OPENINGS	81.2 SQ.FT.
ACTUAL SQ. FTG. OF OPENINGS	80.0 SQ.FT.

UNIT 1

UNPROTECTED OPENINGS (UNIT 1)	
CODE CHECK	
EXPOSED BUILDING FACE	412 SQ. FT.
MINIMUM SETBACK	9'-3"
PERCENTAGE OF ALLOWED OPENINGS	19.72 %
SQ. FTG. OF ALLOWED OPENINGS	81.2 SQ.FT.
ACTUAL SQ. FTG. OF OPENINGS	61.7 SQ.FT.



PROPOSED WEST ELEVATION SCALE: 3/16"=1'-0"



PROPOSED LANE NORTH ELEVATION SCALE: 3/16"=1'-0"



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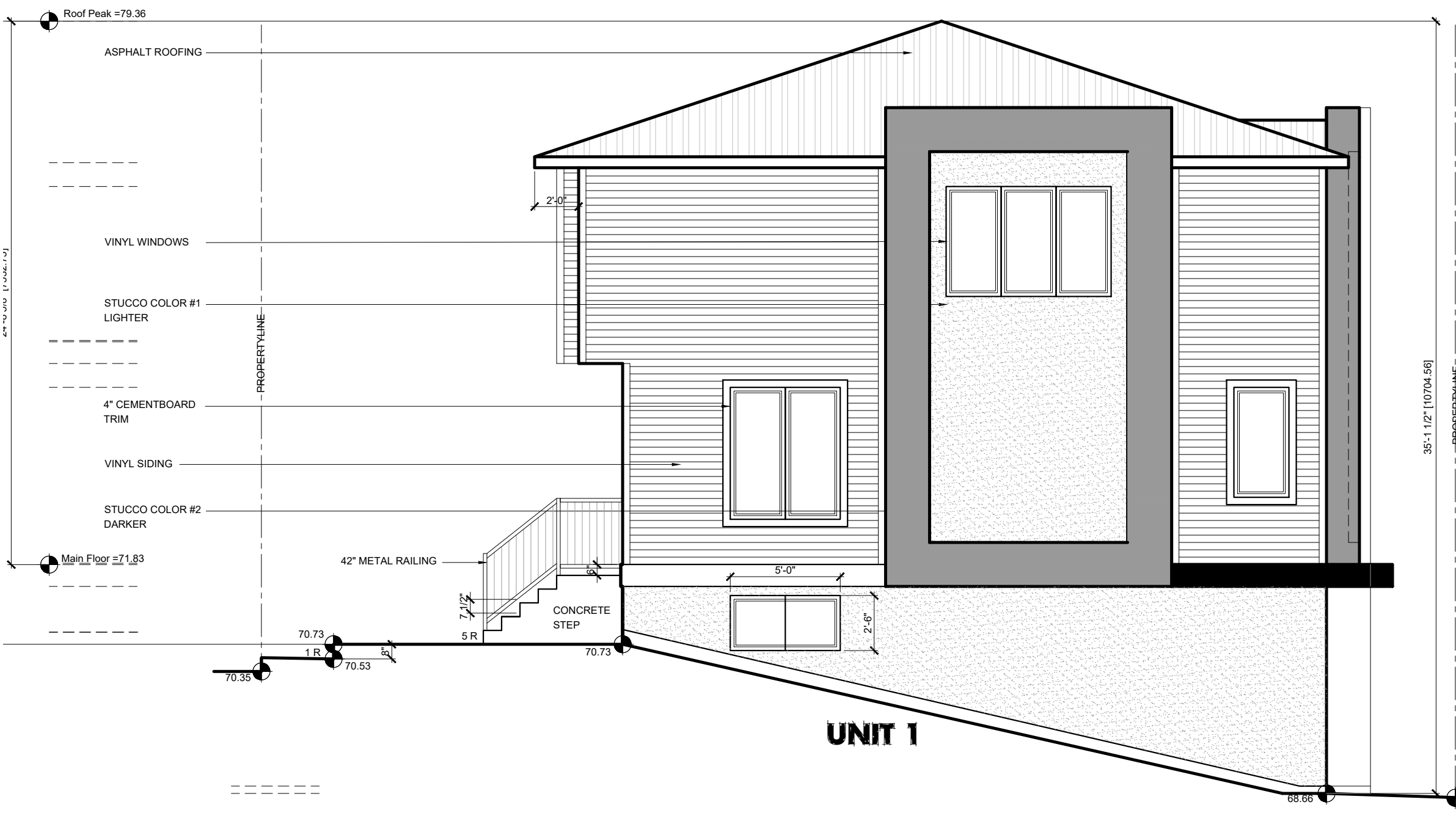
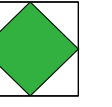
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DRAWING TITLE:
DP APPLICATION
ELEVATIONS

PROJECT #: 2020-2110
DATE: 2020.06.16
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SHEET

DD1.3

SCALE: 3/16"=1'-0"



UNIT 1

PROPOSED 34TH AVENUE N.W. SOUTH ELEVATION SCALE: 3/16"=1'-0"



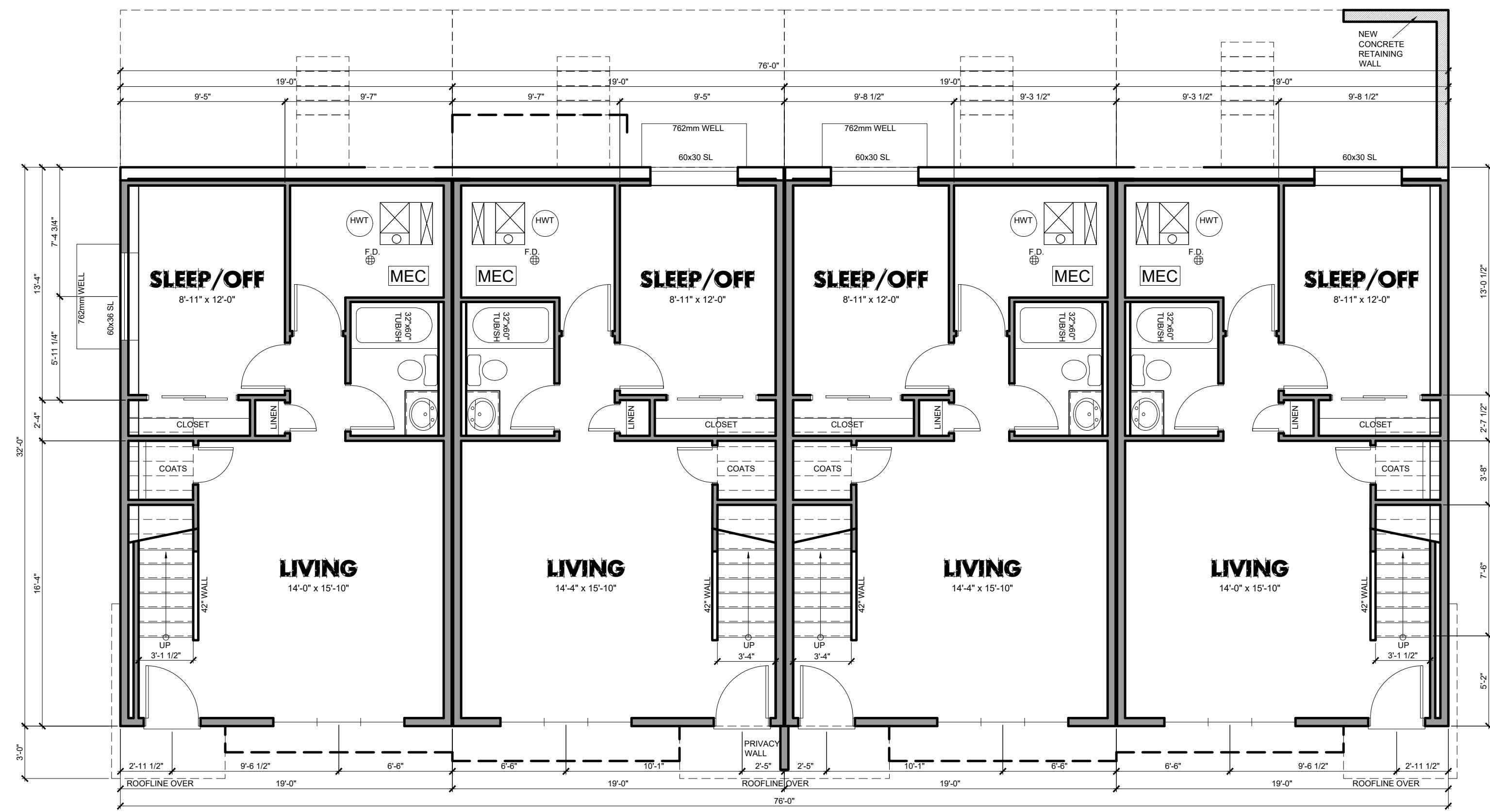
UNIT 1

UNIT 2

UNIT 3

UNIT 4

PROPOSED 64TH STREET N.W. EAST ELEVATION SCALE: 3/16"=1'-0"



LOWER

(9'-1" CEILING HGT.)

SCALE: 3/16"=1'-0"

UNIT 1

482 SQ.FT

LOWER

(9'-1" CEILING HGT.)

SCALE: 3/16"=1'-0"

UNIT 2

481 SQ.FT

LOWER

(9'-1" CEILING HGT.)

SCALE: 3/16"=1'-0"

UNIT 3

481 SQ.FT

LOWER

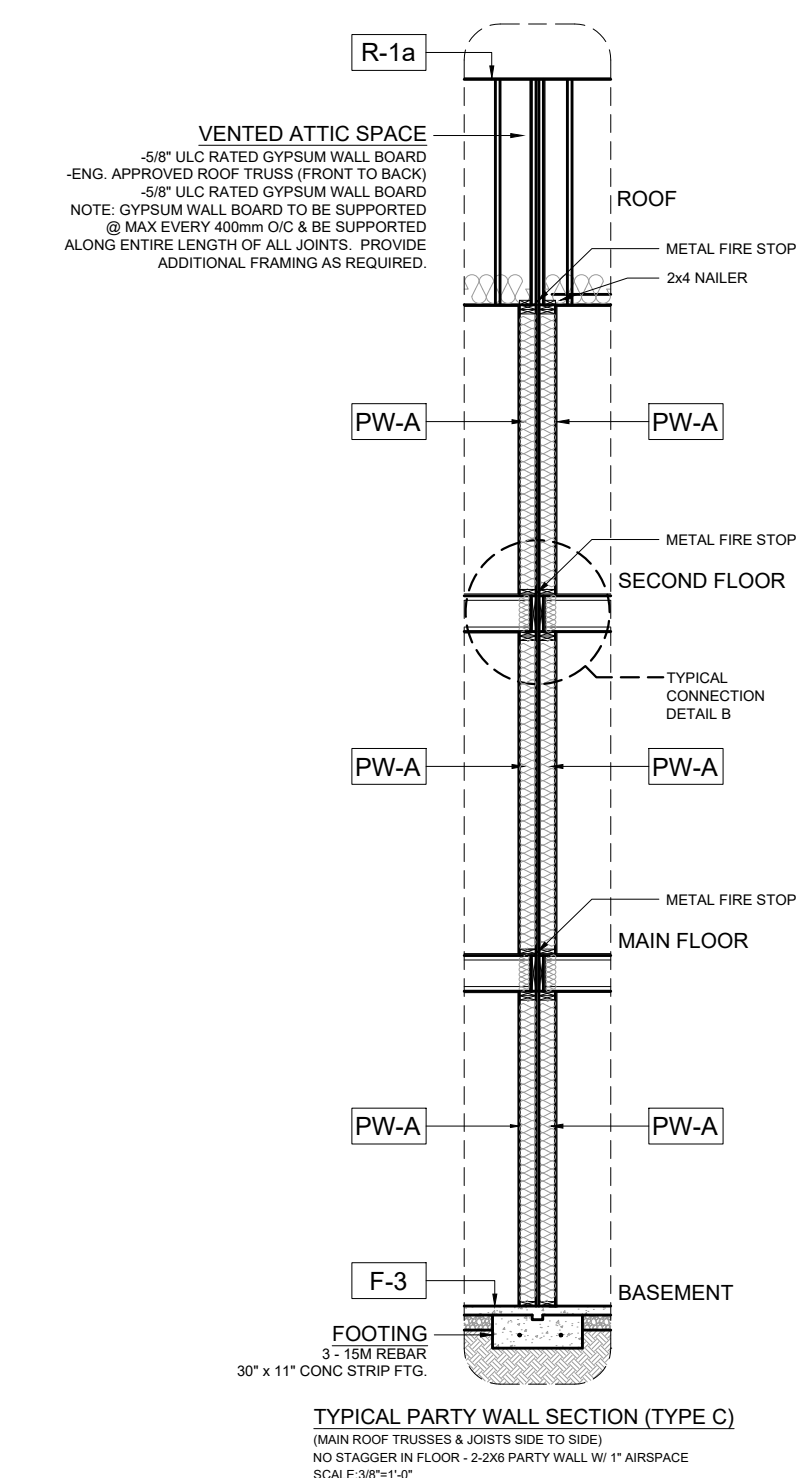
(9'-1" CEILING HGT.)

SCALE: 3/16"=1'-0"

UNIT 4

482 SQ.FT

PROPOSED LOWER LEVEL PLAN SCALE: 3/16"=1'-0"



TYPICAL PARTY WALL SECTION (TYPE C)

69/13

13/69



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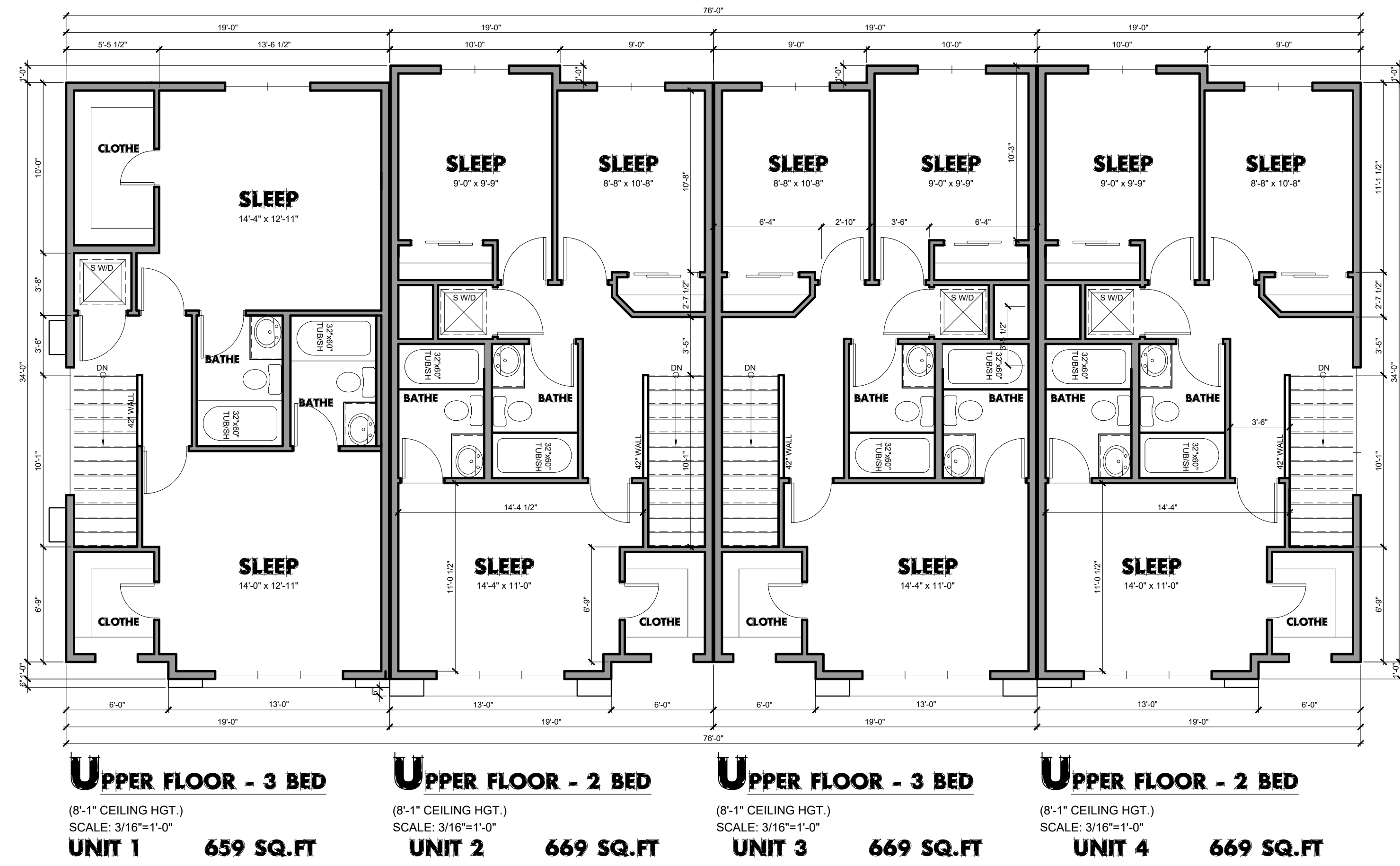
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DRAWING TITLE:
DP APPLICATION
EXTERIOR & LOWER

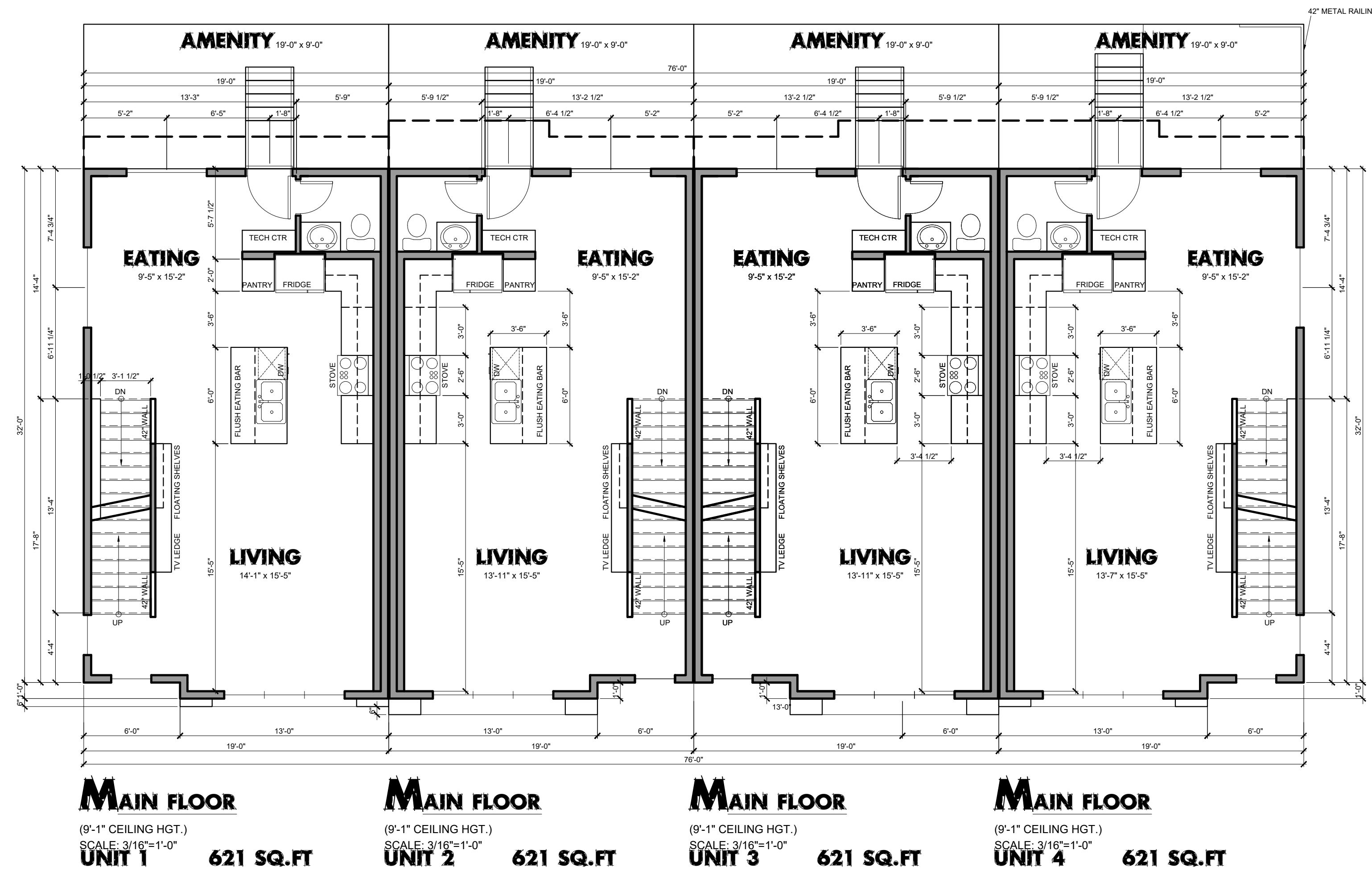
PROJECT #: 2020-2110
 DATE: 2020.06.16
 DRAWN BY: LL
 SHEET

DD1.4

SCALE: 3/16"=1'-0"



PROPOSED UPPER LEVEL PLAN SCALE: 3/16"=1'-0"



PROPOSED MAIN LEVEL PLAN SCALE: 3/16"=1'-0"



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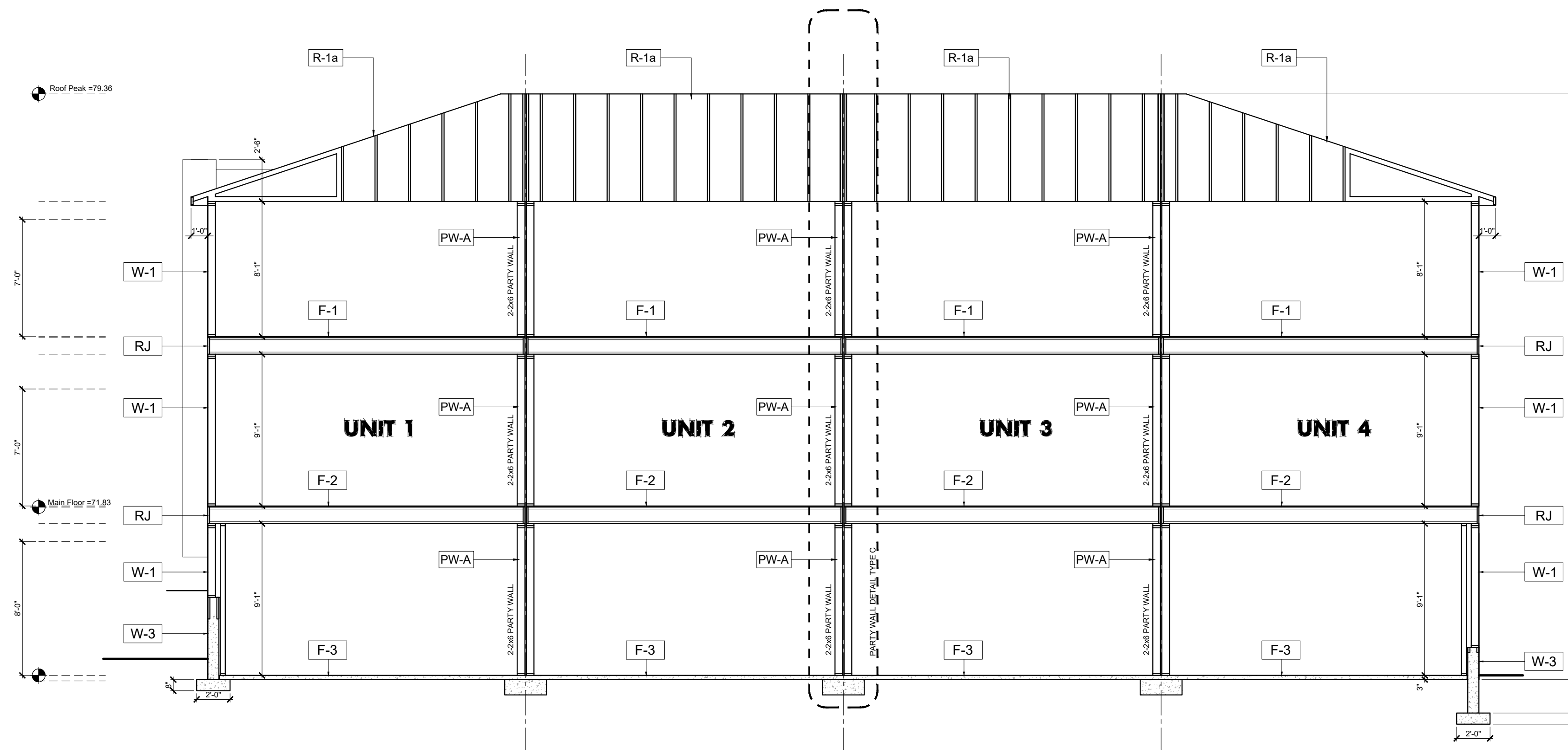
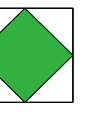
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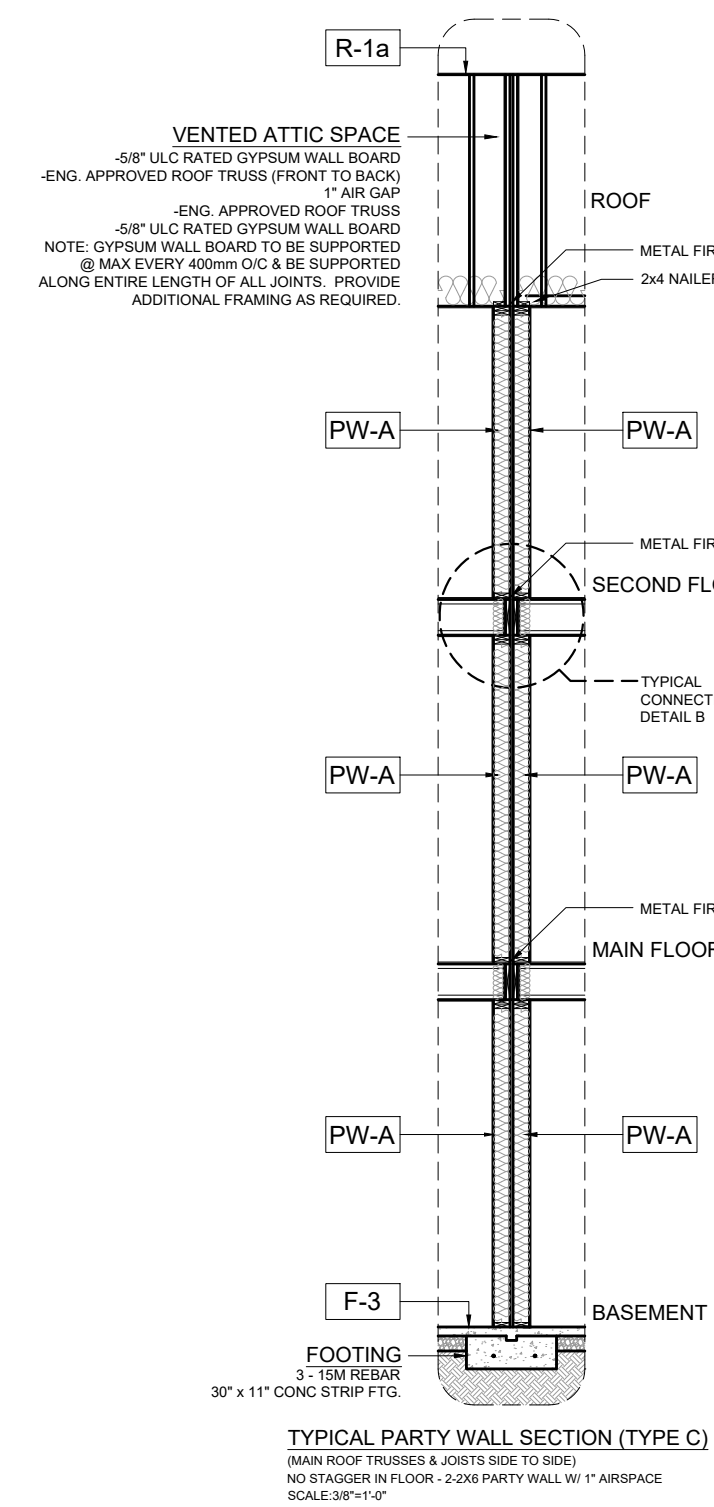
DRAWING TITLE:
**DP APPLICATION
MAIN & UPPER LEVEL**

PROJECT #: 2020-2110
DATE: 2020.06.16
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SHEET

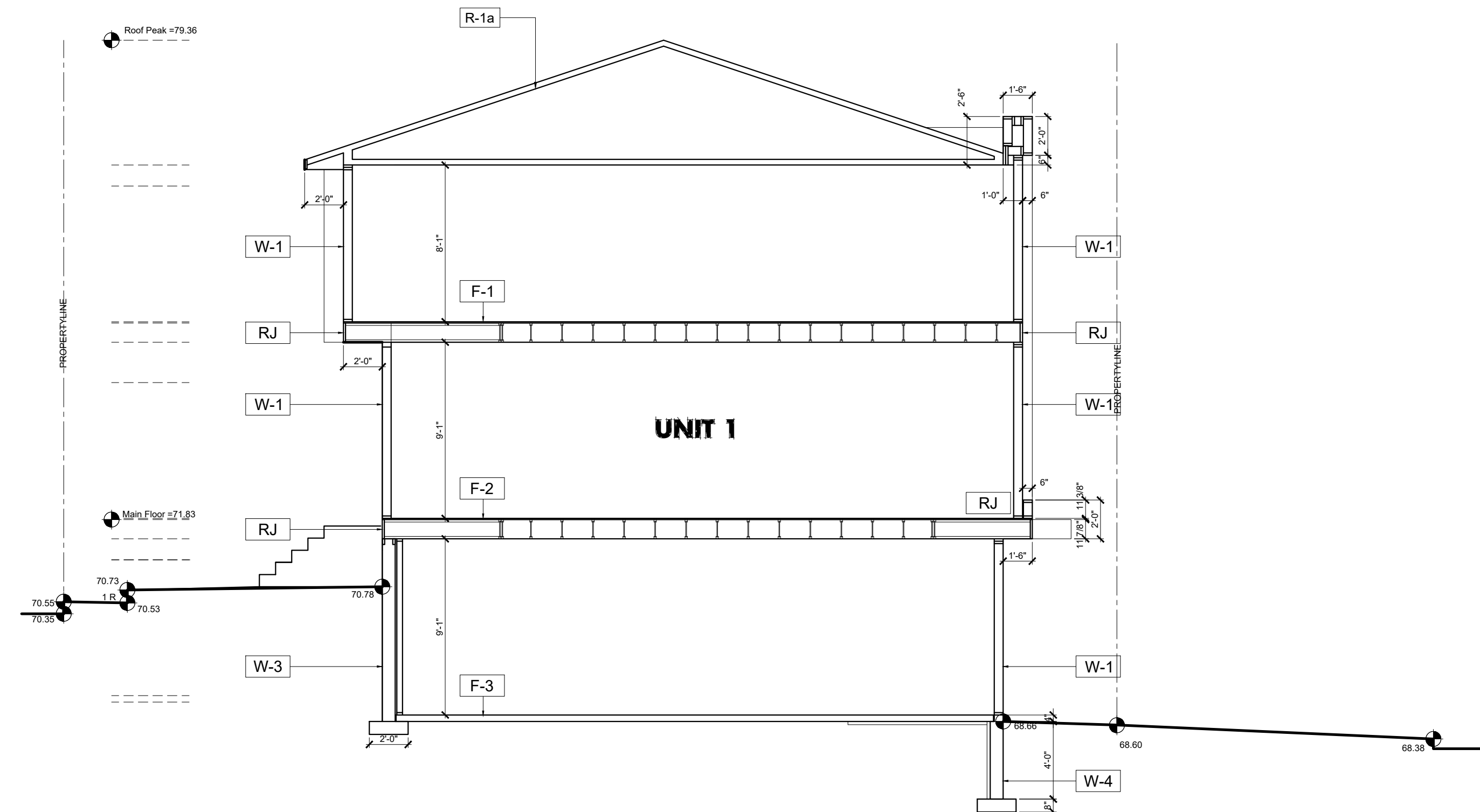
DD1.5
SCALE: 3/16"=1'-0"



PROPOSED SECTION 1 SCALE: 3/16"=1'-0"



PROPOSED PARTYWALL SCALE: 3/8"=1'-0"



PROPOSED SECTION 2 SCALE: 3/16"=1'-0"



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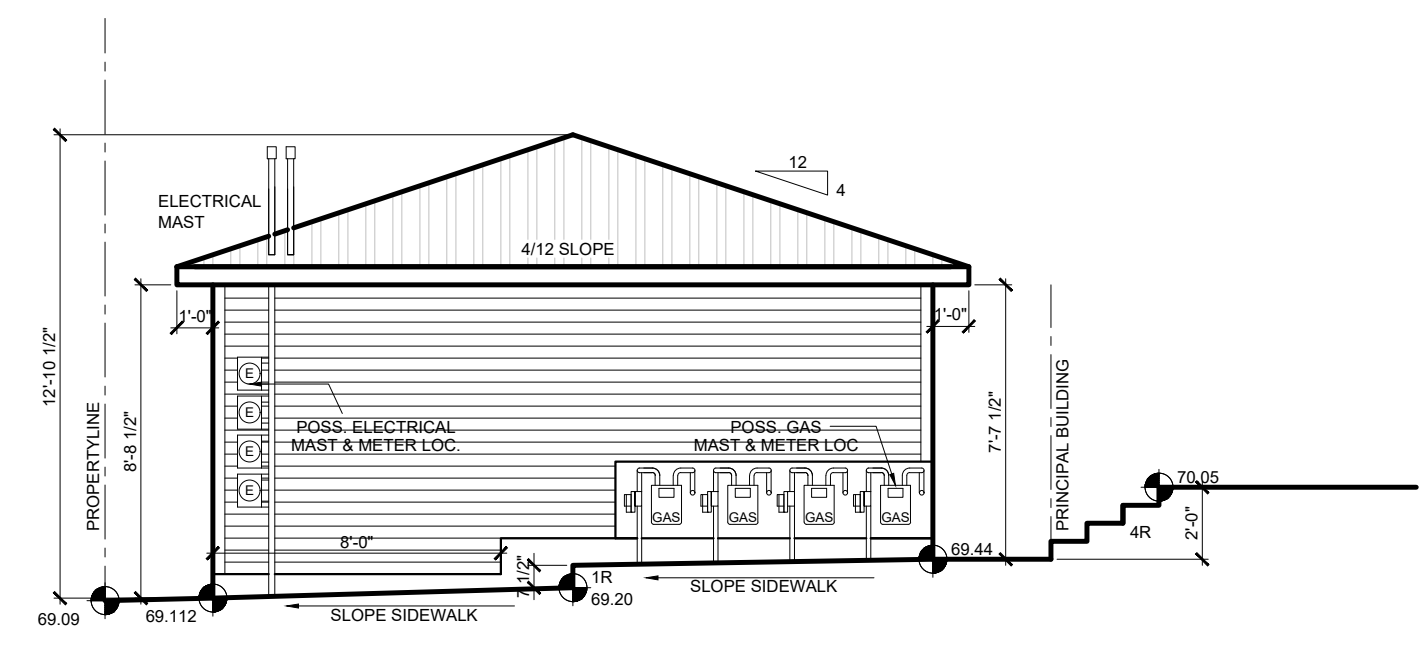
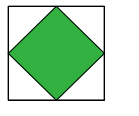
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DRAWING TITLE:
DP APPLICATION SECTIONS

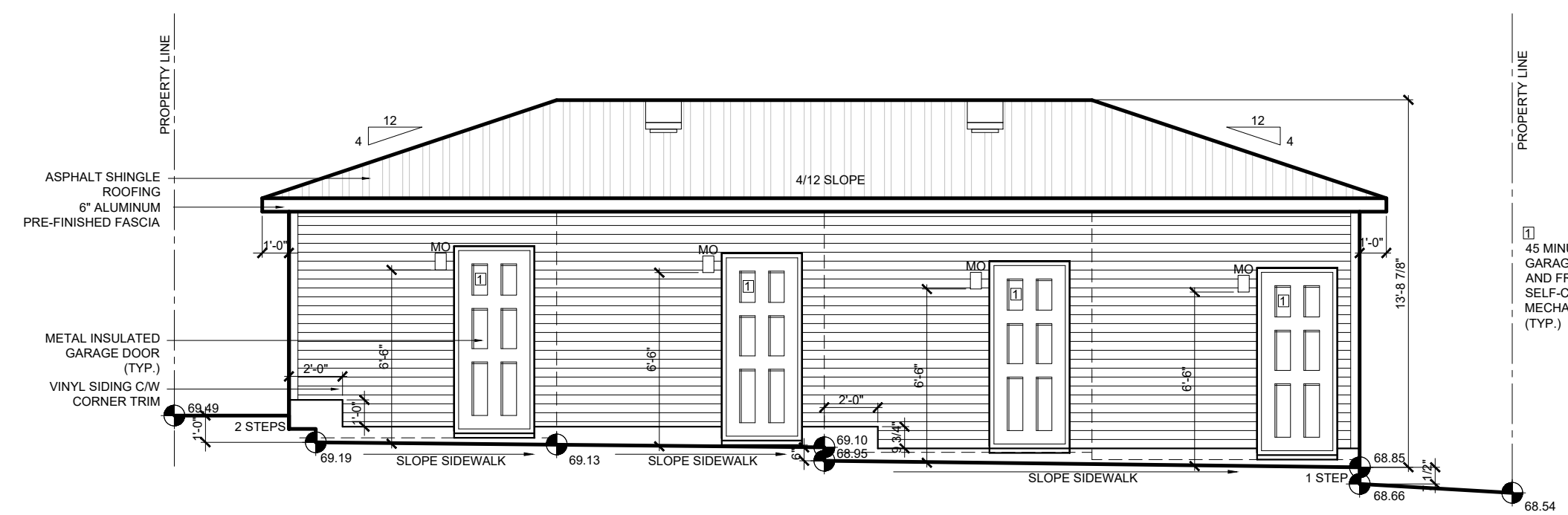
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 DATE: 2020.06.16
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 SHEET

DD1.6

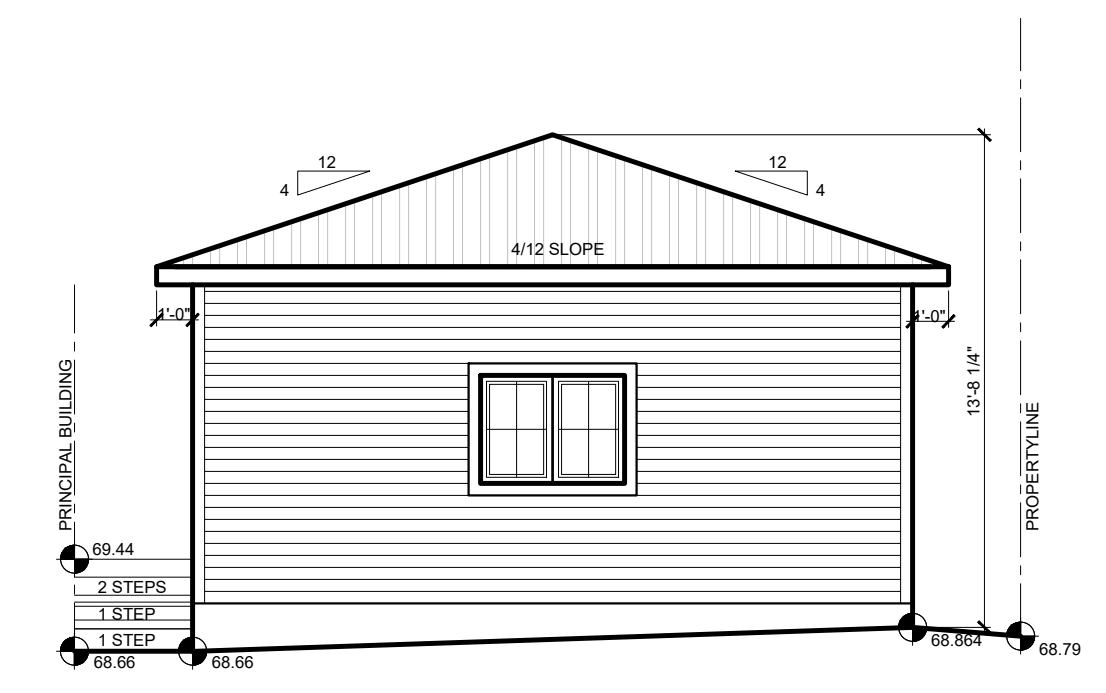
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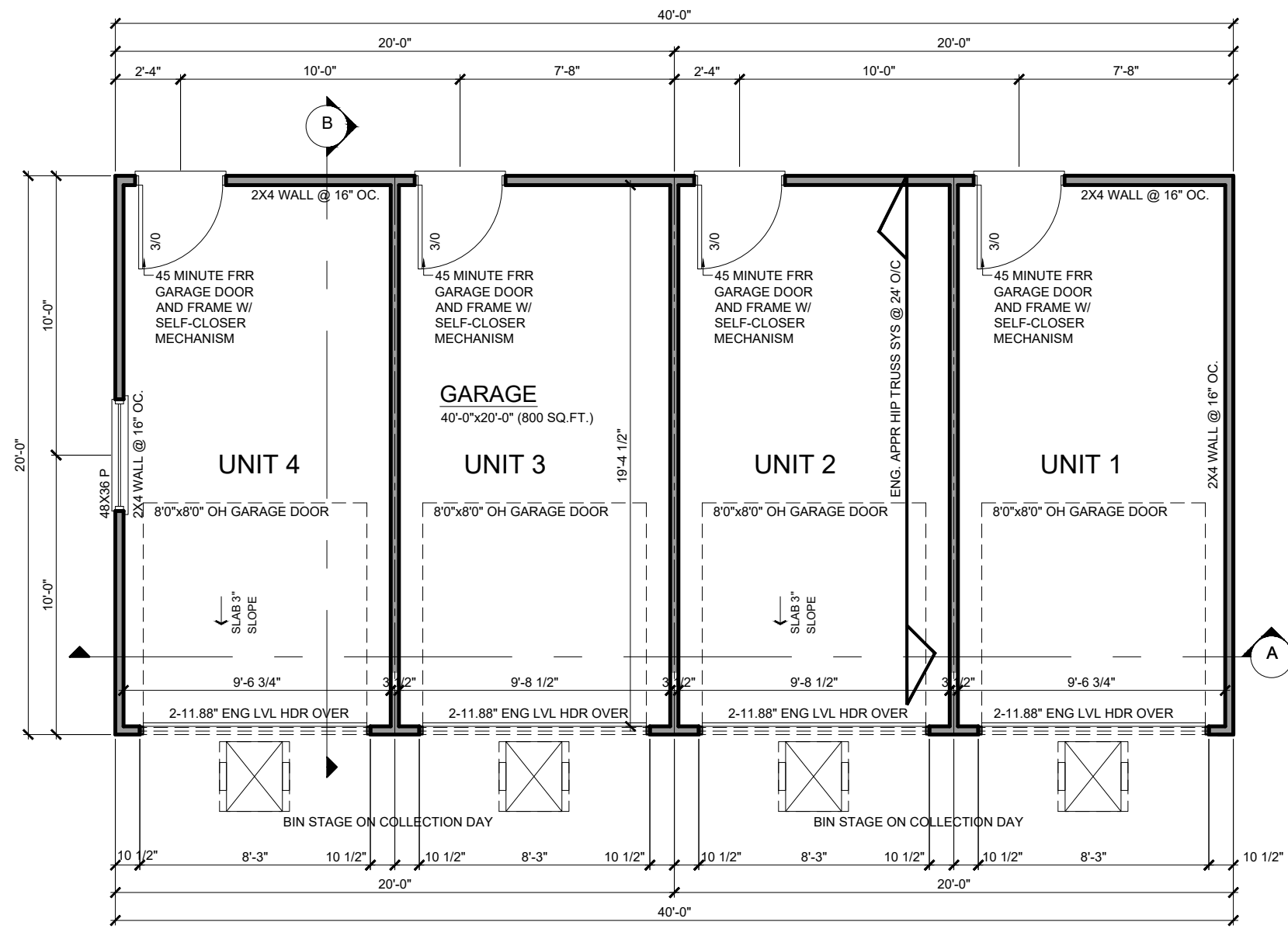
PROPOSED GARAGE WEST ELEVATION SCALE: 3/16"=1'-0"



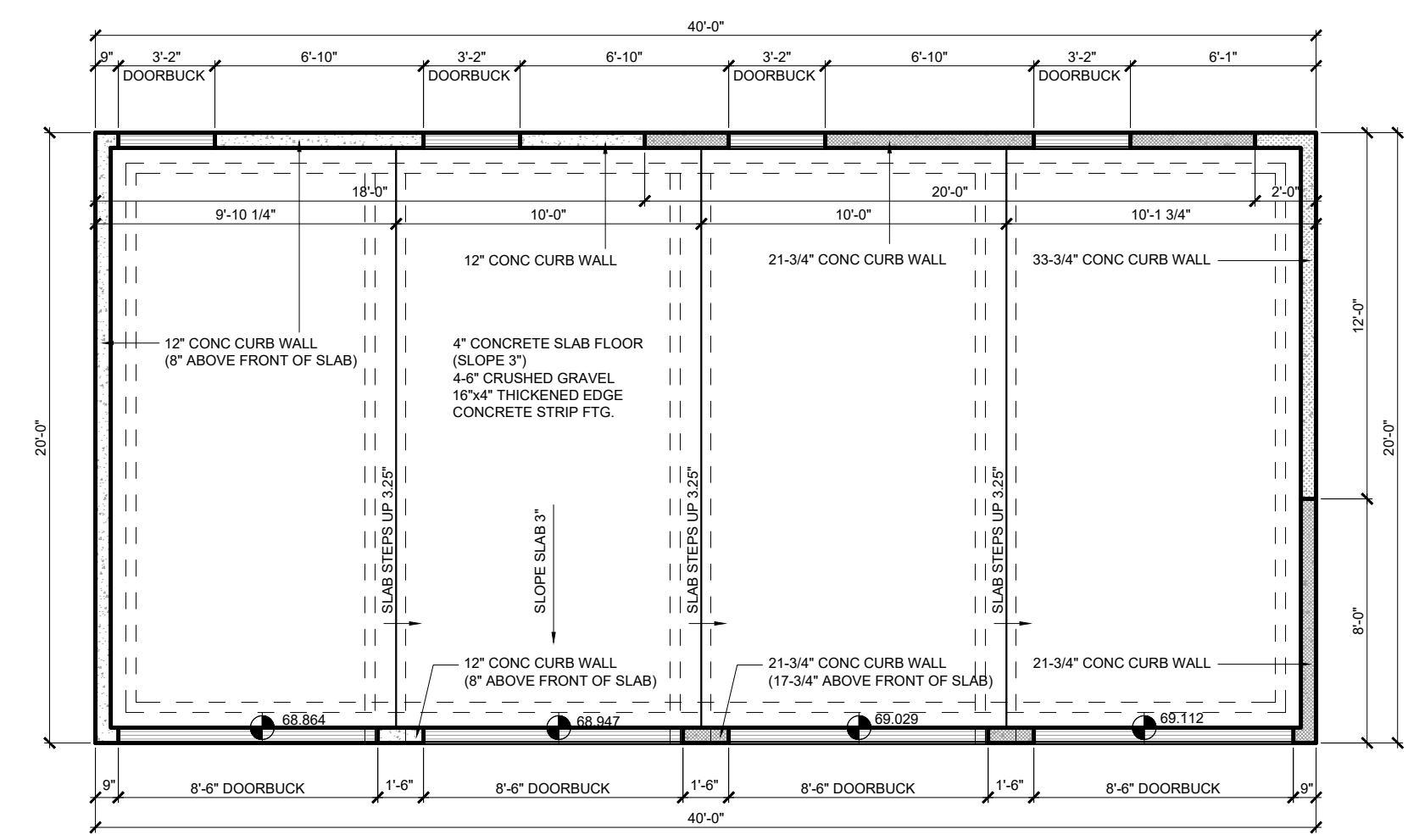
PROPOSED GARAGE SOUTH ELEVATION SCALE: 3/16"=1'-0"



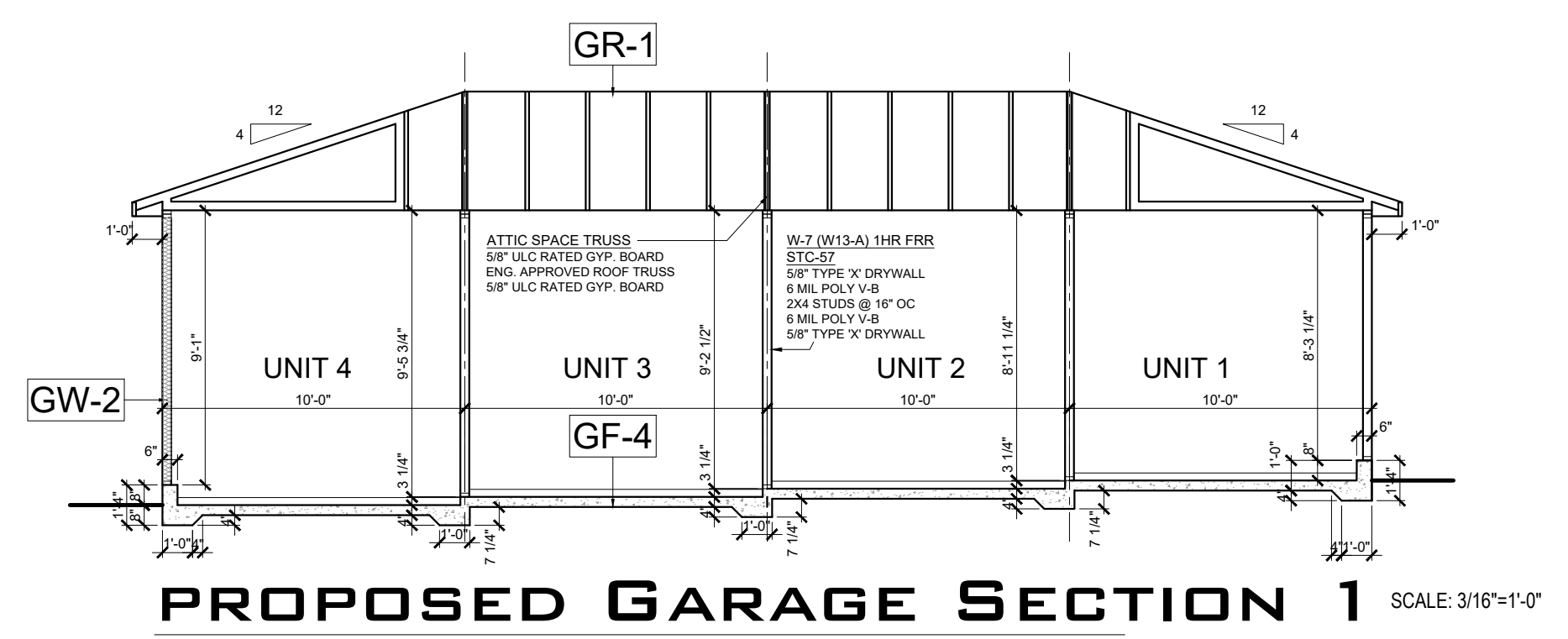
PROPOSED GARAGE EAST ELEVATION SCALE: 3/16"=1'-0"



PROPOSED GARAGE PLAN SCALE: 3/16"=1'-0"

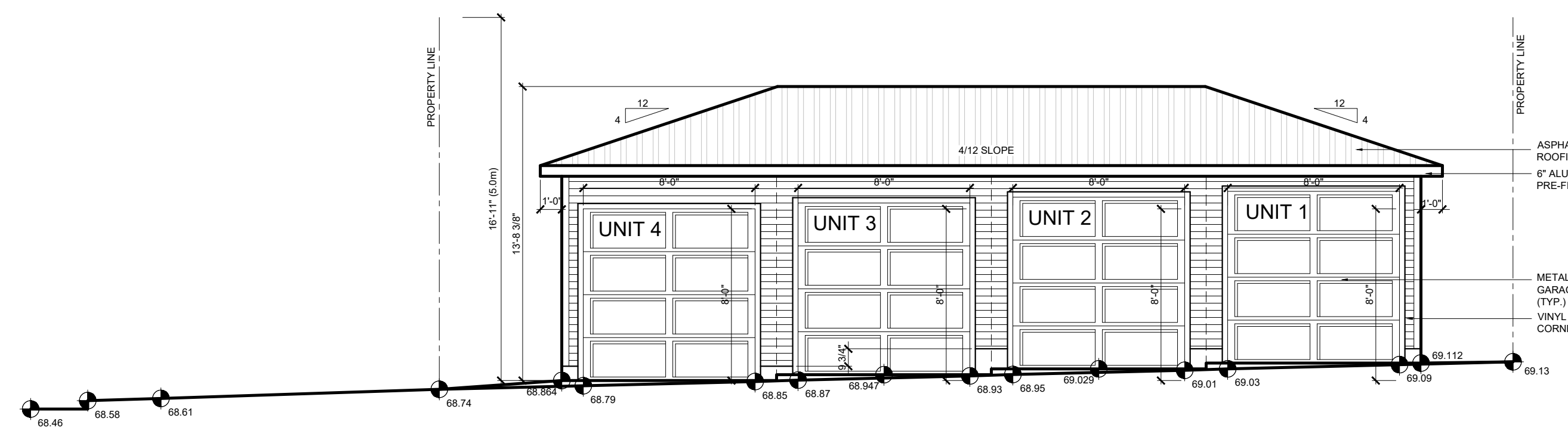


PROPOSED GARAGE FOUNDATION SCALE: 3/16"=1'-0"

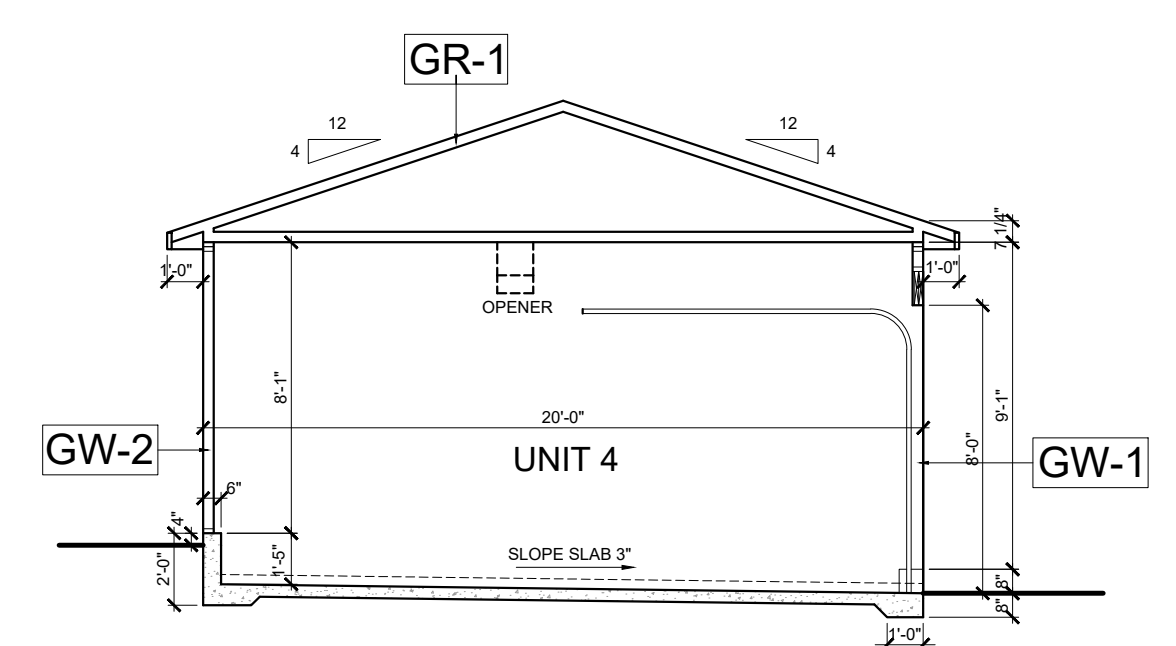


PROPOSED GARAGE SECTION 1 SCALE: 3/16"=1'-0"

- GR-1 ROOF AND CEILINGS**
 - ASPHALT SHINGLE ROOFING AS SPEC'D
 - BUILDING PAPER
 - 3/8" OSB SHEATHING CW 1" CLIPS
 - APPROVED WOOD TRUSSES @ 24" O/C
 - EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL (2X4 TRUSS BRACINGS TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
 - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
 - MIN R20 LOOSE FILL OR CELLULOSE INSUL.
 - VAPOUR BARRIER (6 MIL POLY)
 - 1/2" CD CEILING BOARD
- GF-4 GARAGE SLAB**
 - 4" DURACRETE CONC. SLAB
 - 4-6" COMP. GRAVEL (SLOPE 3%)
- GW-2 EXTERIOR WALLS**
 - EXTERIOR FINISH AS SPEC'D
 - BUILDING PAPER
 - 5/8" TYPE 'X' EXTERIOR GYPSUM
 - 2X4 K.D. SPR. STUDS @ 16" O.C. CW 2 TOP PLATES AND 1 BOTTOM PLATE TO MATCH STUD WIDTH
 - R20 FRICTION-FIT FIBERGLASS INSULATION
 - VAPOUR BARRIER (6 MIL POLY)
 - 5/8" TYPE 'X' DRYWALL



PROPOSED GARAGE NORTH ELEVATION SCALE: 3/16"=1'-0"



PROPOSED GARAGE SECTION 1 SCALE: 3/16"=1'-0"



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DRAWING TITLE:
DP REVIEW 2 SET GARAGE PLANS
PROJECT #: 2020-2110
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DRAWN BY: LL
SHEET

DD1.7
SCALE: 3/16"=1'-0"