

EXISTING SITE/BLOCK PLAN SCALE: 1:200

EXISTING TREEPLAN & GRADES SCALE: 1:200

SURVEY LEGEND

- Statutory iron survey post found shown thus
- Drill hole found shown thus
- Metal plug found shown thus
- Iron bar found shown thus
- Temporay point shown thus
- Alberta Survey Control Marker (ASCM) shown thus
- Delta (Central) angle of arc shown thus
- Eave Fascia are shown thus
- Fences are shown thus
- Building foundation shown thus
- Gas line shown thus
- Power Lines shown thus
- Overhead Utilities shown thus
- Sewer Lines shown thus
- Storm lines shown thus
- Water lines shown thus
- Telus Lines shown thus
- Confessure trees are shown thus
- Deciduous trees are shown thus
- Shrubs are shown thus
- Tree Canopy shown thus
- Catch Basins shown thus
- Manholes shown thus
- Catch Basin Manholes shown thus
- Power Poles shown thus
- Fire Hydrant shown thus
- Street Lights shown thus
- Water valves shown thus
- Spot Elevations are shown thus
- Concrete surfaces are shown thus
- Asphalt Pathway shown thus
- Utility Rights of Way are shown thus
- Subject Property is shown thus
- Gas Valve shown thus
- Sign shown thus

ABBREVIATIONS

- A Arc
- AC Access Cover
- ag Above Ground
- ALS Alberta Land Surveyor
- ARW Access Right of Way
- ASCM Alberta Survey Control Marker
- Bk Block
- C of T Short Curve
- calc. calculated
- Can. Cantilever
- CB Chord Bearing
- ck m. check measured
- Conc. Concrete
- cs counter sunk
- E East
- ER Environmental Reserve
- Est. Established
- FC Filler Cap
- Fd Front
- GNSS Global Navigation Satellite System
- ha Hectare
- I Statutory Iron Post
- L Short Line
- M Along or Meridian
- Mk Mark
- Mkd Marked
- Mp Marker Post
- MR Municipal Reserve
- MWC Monitoring Well Cap
- N North
- NAD North American Datum
- No Number
- NT Non-Tangential
- (NTS) Not to Scale
- ODRW Overland Drainage RW
- P Brass Cap
- Ped Pedestal
- Pi 4 Pits
- Pl Placed
- Pos. Position
- PL Pipeline
- PL Public Utility Lot
- R Radius
- Re-est. Re-established
- Ref. Reference
- Res. Restored
- RGE Range
- RW Right of Way
- (R) Radial
- S South
- SEC Section
- TCD Top Cut Off
- TWP Township
- URW Utility RW
- W West
- STM 3° Transverse Mercator
- Δ Central Delta Angle

NOTE

Distances are shown in metres and decimals thereof.
 Elevations are geodetic and derived from ASCM 146837, elevation = 1073.426
 To obtain actual elevation add 1000 to spot elevations.
 Fences are within 0.10m of property line unless otherwise noted.
 Eave dimensioned to the line of the fascia.
 Actual locations of all facilities are to be confirmed prior to excavation.
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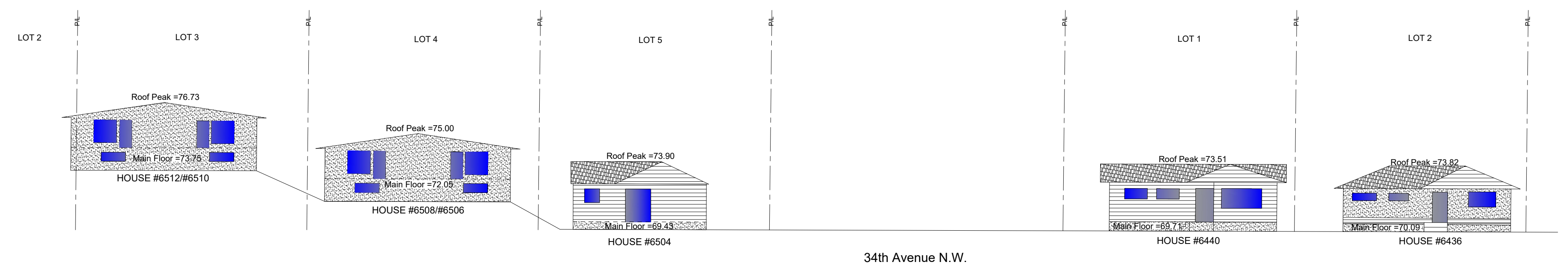
SURVEYOR

ROBERT M. WALLACE, A.L.S.
 Date of Survey: March 28th, 2020
 Certified Correct this 30th day of March, 2020.



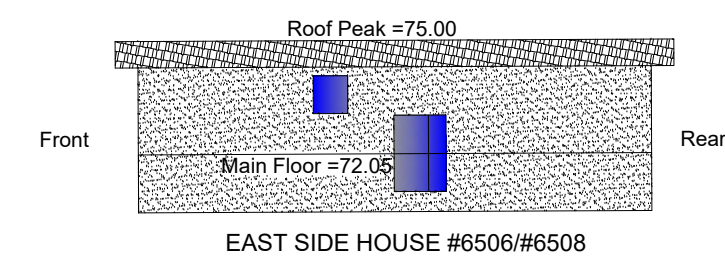
ENCUMBRANCES, LIENS & INTERESTS

TITLE: 091 140 310 (Revised March 25th, 2020)
 Restrictive Covenant: 6183 EW
 Caveat: 061 035 278



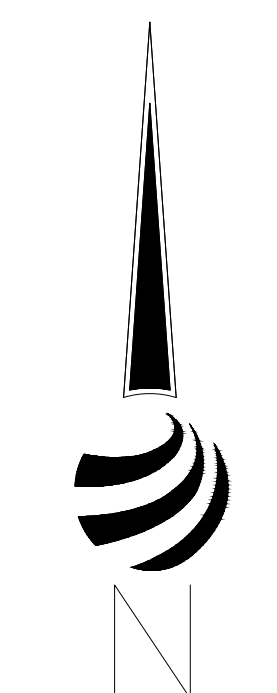
EXISTING STREETSCAPE SCALE: 1:200

EXISTING ADJACENT PROFILES SCALE: 1:200



TREE DATA

TREE	Type	Species	Tree ID	Value	Canopy	Height	Diameter	Location	Status
1	Deciduous	Acer negundo	T-32078729	call	6.0	4.0	0.40	CITY LANDS	RETAIN
2	Deciduous	Ulmus americana	T-32078728	\$5,713.73	8.0	3.0	0.40	CITY LANDS	REMOVE
3	Deciduous	Sorbus americana	T-32078727	call	6.0	4.0	0.61	CITY LANDS	RETAIN
4	Deciduous	Ulmus pumila	T-32078726	call	12.0	6.0	0.91	CITY LANDS	RETAIN
5	Deciduous				5.0	3.0	0.35	PRIVATE	RETAIN
6	Shrub/Bush							CITY LANDS	REMOVE
7	Deciduous				10.0	5.0	0.61	PRIVATE	RETAIN
8	Deciduous				6.0	2.0	0.40	PRIVATE	REMOVE
	Coniferous								



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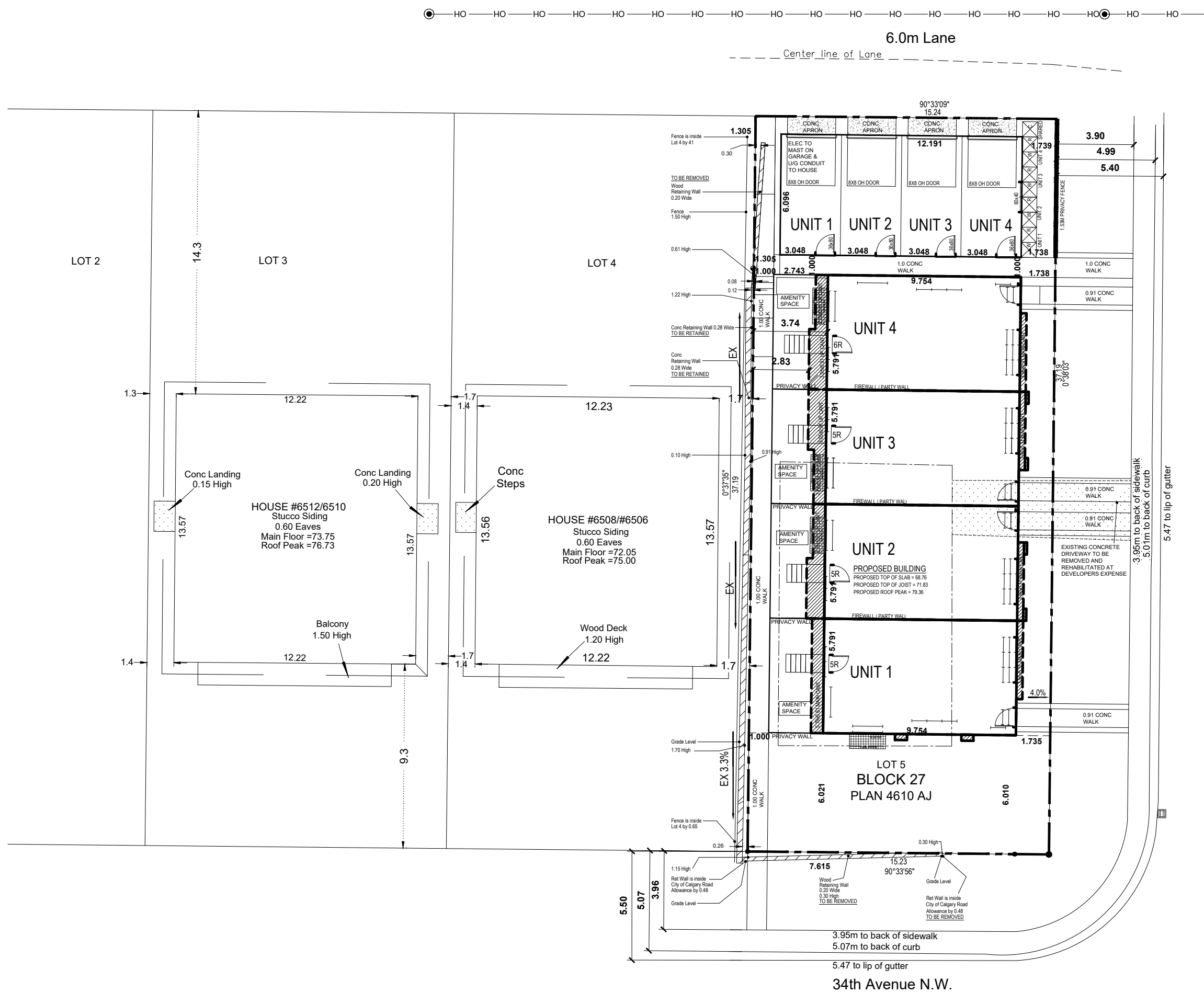
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ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

DRAWING TITLE:
DP APPLICATION
EXISTING SITE INFO
 PROJECT #: 2020-2110
 DATE: 2020.06.16
 DRAWN BY: LL
 SHEET

DD1.1



PROPOSED SITE/BLOCK PLAN SCALE: 1:200

LEGEND

- CONCRETE WALKWAY = - m² or -%
- PROPOSED PATIO & STEPS (CONCRETE) = - m² or -%
- 20-40mm DECORATIVE LANDSCAPE ROCK = - m² or -%
- PROPOSED BUILDINGS = - m² or -%
- SOD = - m² or -%
- ASPHALT GARAGE APRON & PARKING = - m² or -%

TOTAL LOT AREA = 566.50 m² or 100%

NOTE: NOT INCLUDED IN LANDSCAPE REQUIREMENTS

PROPOSED DWELLING	= 225.94 m ²
PERIMETER FENCE	= 43.12 m ²
TOTAL	= 269.06 m ² (47.5%)
TOTAL LANDSCAPING	= 78.44 m ² (13.8%)

LANDSCAPING RULES

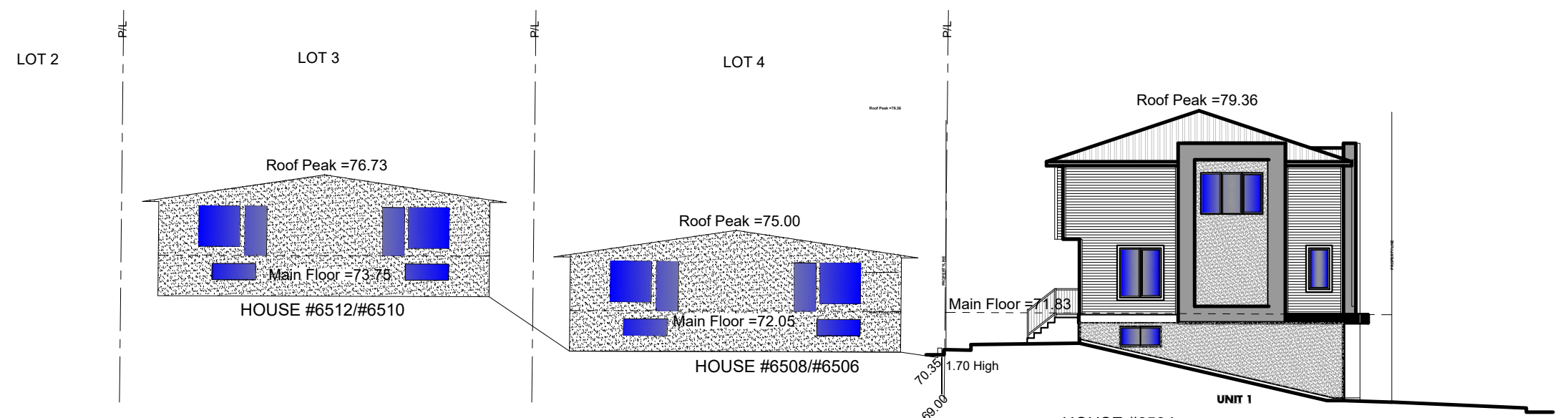
TREELINE MIXTURE OF CONIFEROUS & DECIDUOUS TREES
 MINIMUM SIZE OF SMALL DECIDUOUS 60mm
 MINIMUM HEIGHT OF SMALL CONIFEROUS 3.0m OR 10'0"

THEREFORE WE REQUIRE: (8) TREES (8) PROVIDED
 PRODUCTIONS AS PROVIDED:
 4 NEW CONIFEROUS
 2 EXISTING DECIDUOUS
 2 NEW DECIDUOUS

ANY EXISTING TREES TO BE RETAINED NOTED AS SUCH

DECIDUOUS	CONIFEROUS
TOBA HAWTHORN (CRATAEGUS)	PONDEROSA PINE UPRIGHT (PINUS PONDEROSA)
RECONSTRUCTING (RECYCLED TREES)	

34th Avenue N.W.

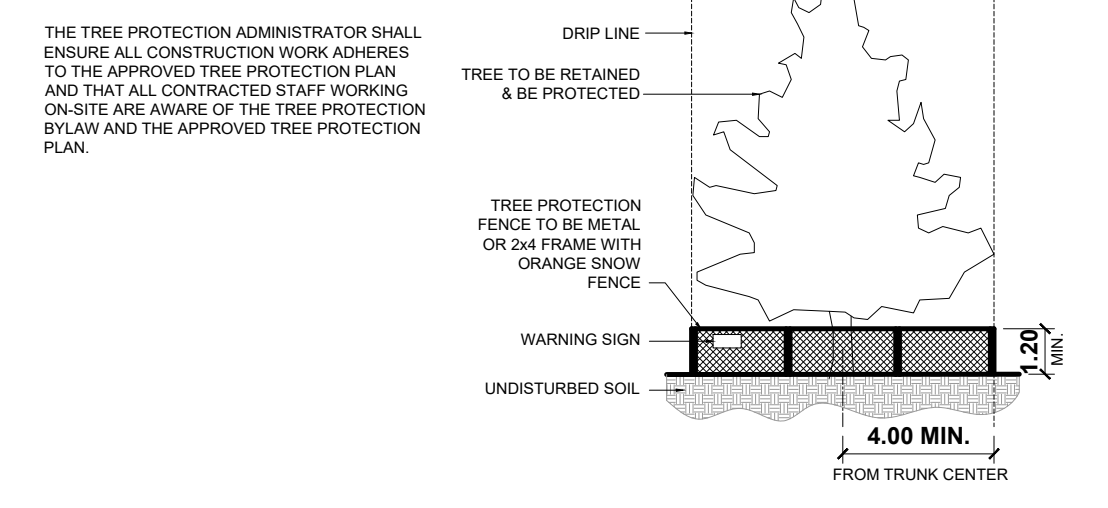


PROPOSED SOUTH STREETSCAPE SCALE: 1:200

TREE PROTECTION MEASURES

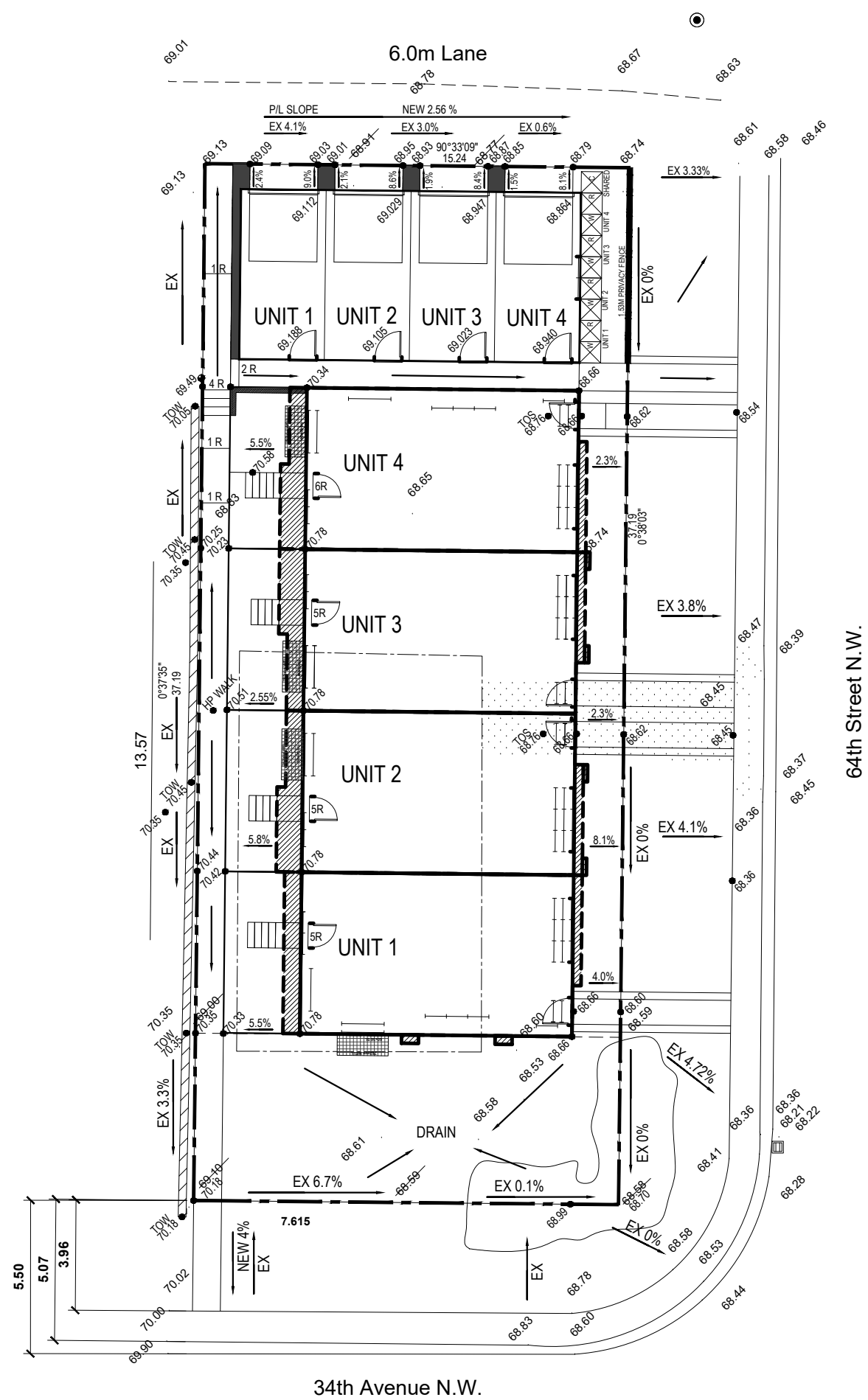
- CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
- AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION COMMENCEMENT:
 - WHEN CLEARANCE PRUNING COMMENCES
 - WHEN CONSTRUCTION COMMENCES
 - WHEN CONSTRUCTION TERMINATES
 CONTACT AN URBAN FORESTRY TECHNICIAN AT 3-1-1.
- TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
 - BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS.
 - IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS AND URBAN FORESTRY PRIOR TO PRUNING.
 - ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATIONS.
 - APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 - SUPPLEMENTAL WATERING WHEN REQUIRED.
 - SOIL CORRECTION WHERE REQUIRED.
 - PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCRoACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
- TREE PROTECTION MEASURES POST CONSTRUCTION:
 - SUPPLEMENTAL WATERING WHEN REQUIRED
 - SOIL CORRECTION, WHERE REQUIRED
- ON-SITE TREE PROTECTION ADMINISTRATOR:

WAVE HOMES - CONTACT # 403-764-0222

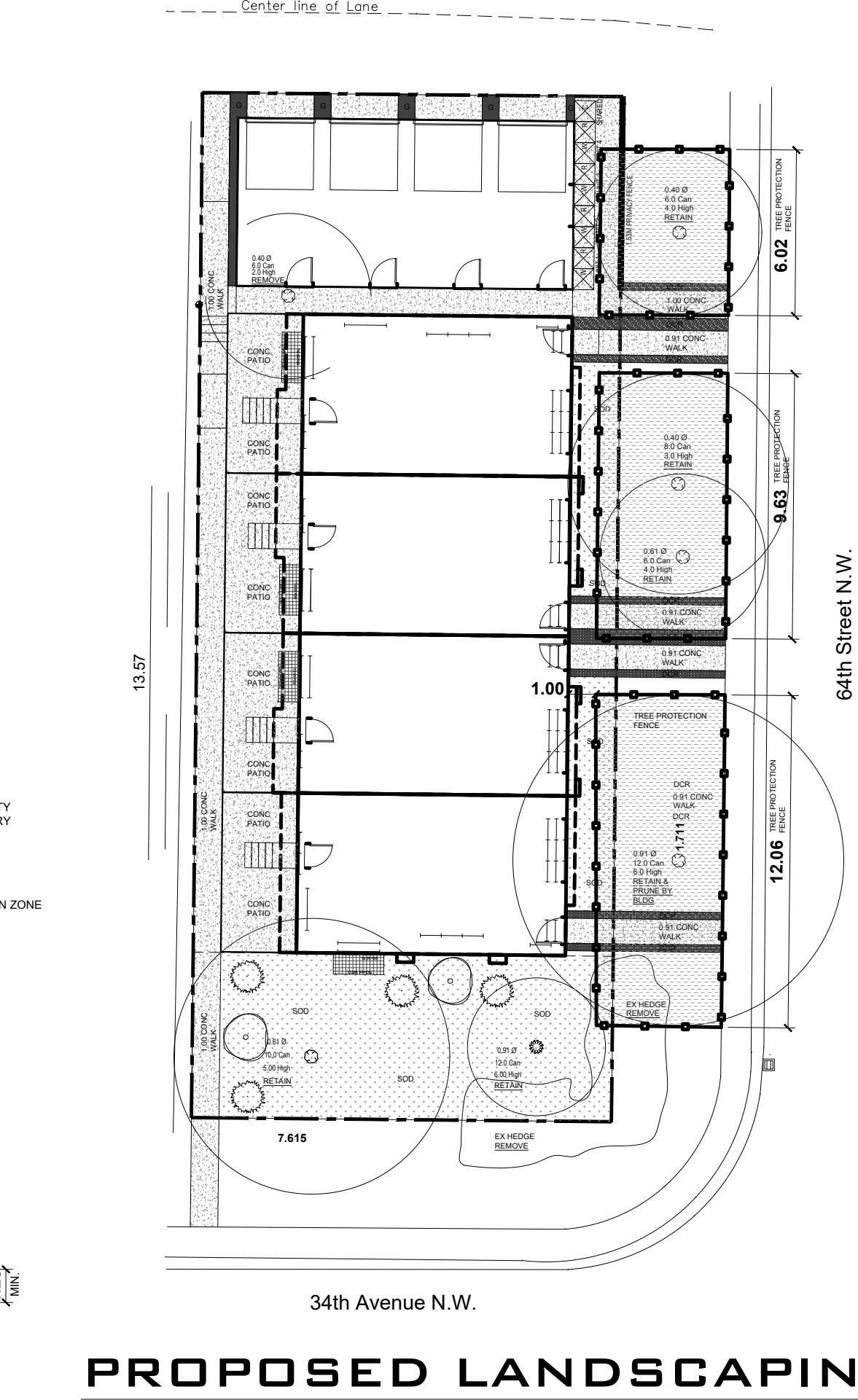


EXISTING ADJACENT PROFILES SCALE: 1:200

PROPOSED EAST ELEVATION SCALE: 1:200



PROPOSED GRADES SCALE: 1:200



PROPOSED LANDSCAPING SCALE: 1:200

GENERAL NOTES:

- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE
- CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK
- ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER/DESIGNER PRIOR TO CONSTRUCTION START
- FINAL NUMBER OF RISERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION
- PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD
- IF A SUMP PUMP IS REQUIRED THAT IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM
- STREET LAMPS, SITE FURNITURE, ETC. ARE SHOWN AS PER SURVEYOR AND ACTUAL FIXTURES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- BEARING CERTIFICATE REQUIRED
- ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK PROFILE PLANS.
- ADDITIONAL TREES AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS (2) TWO PER SUBDIVIDED LOT
- PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE
- EXISTING DRIVEWAYS TO BE REPAIRED AT DEVELOPER'S EXPENSE
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM 64th LANE
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED
- FENCES ARE NOT SPECIFIED UNDER THIS APPLICATION, BUT MUST BE BUILT TO MEET CITY OF CALGARY BYLAWS

PARCEL COVERAGE:

TOTAL PARCEL AREA	566.50 m ²
BUILDING FOOTPRINT	225.94 m ²
GARAGE FOOTPRINT (MAX 75 SQ.M.)	74.32 m ²
TOTAL COVERED FOOTPRINT COVERAGE	300.26 m ²
TOTAL PARCEL COVERAGE	53.3%

CONTEXTUAL BUILDING SETBACKS:

BUILDING SETBACK FROM FRONT PROPERTY LINE	6.00 m
BUILDING SETBACK FROM SIDE PROPERTY LINE	1.2 m
MAXIMUM BUILDING DEPTH FROM FRONT PROPERTY LINE FOR A CORNER PARCEL, THE MINIMUM BUILDING SETBACK FROM A SIDE PROPERTY LINE SHARED WITH A STREET IS (GARAGE SETBACK MINIMUM)	0.60 m
FOR A ROWHOUSE BUILDING ON A CORNER PARCEL, THE MINIMUM BUILDING SETBACK FROM A REAR PROPERTY LINE WHERE THE BUILDING SETBACK FROM THE SIDE PROPERTY LINE SHARED WITH ANOTHER PARCEL IS A MINIMUM OF FOR ANY PORTION OF THE ROWHOUSE BUILDING LOCATED BETWEEN THE REAR PROPERTY LINE AND:	3.0 m
(a) 50.0 PER CENT PARCEL DEPTH;	
OR	
(b) THE BUILDING DEPTH OF THE MAIN RESIDENTIAL BUILDING ON THE ADJOINING PARCEL IS CLOSER TO THE REAR PROPERTY LINE	

SITEPLAN LEGEND:

BASEMENT WINDOW	LO
MAIN FLOOR WINDOW	MW
UPPER FLOOR WINDOW	UF
WINDOW WELL	WW

EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN:
 NEW ELEVATIONS ARE METRIC AND ARE SHOWN:
 PRESSURE TREATED LANDSCAPE RETAINING WALL:

SURVEY LEGEND

Statutory iron survey post shown thus

Statutory iron survey post placed shown thus

Drill hole found shown thus

Metal plug found shown thus

Metal plug placed shown thus

Temporary point shown thus

Iron bar found shown thus

Alberta Survey Control Marker (ASCM) shown thus

Delta (Central) angle of arc shown thus

Eave Fascia are shown thus

Fences are shown thus

Building foundation shown thus

Power Lines shown thus

Gas line shown thus

Sanitary Lines shown thus

Storm Lines shown thus

Water lines shown thus

Telco Lines shown thus

Confederous trees are shown thus

Deciduous trees are shown thus

Shrubs are shown thus

Tree Canopy shown thus

Catch Basins shown thus

Manhole shown thus

Catch Basin Manholes shown thus

Power Poles shown thus

Fire Hydrant shown thus

Street Lights shown thus

Water valves shown thus

Spot Elevations are shown thus

Concrete surfaces are shown thus

Asphalt Pathway shown thus

Utility Rights of Way are shown thus

Subject Property is shown thus

Gas Valve shown thus

Sign shown thus

ABBREVIATIONS

A	Access Cover	MWC	Monitoring Well Cap
AC	Access Cover	N	North
AG	Above Ground	NAD	North American Datum
ALC	Alberta Land Surveyor	No	Number
ARW	Access Right of Way	NT	Non-Tangential
ASCM	Alberta Survey Control Marker	(NTS)	Not to Scale
Blk	Block	ODRW	Overland Drainage RW
C	Short Curve	P	Brick Cap
C of T	Certificate of Title	Ped	Pedestal
calc	calculated	PI	4 Pin
Card	Cardioid	Pl	Placed
CB	Chord Bearing	Pos	Position
ck	check measured	PL	Pipeline
Conc.	Concrete	PUL	Public Utility Lot
cr	Curve	R	Radius
E	East	Re-est	Re-established
ER	Environmental Reserve	Ref	Reference
Est	Established	Res	Restored
FC	Filler Cap	RGE	Range
Fd	Flare	R/W	Right of Way
GNS	Global Navigation Satellite System	(R)	Radial
ha	Hectare	S	South
ha	Statutory Iron Post	SEC	Section
L	Long Line	TCO	Top Cut Off
M	Mound or Meridian	TWP	Township
Mk	Mark	URW	Utility RW
Mkd	Marked	W	West
Mp	Marker Post	STM	Transverse Mercator
MRS	Municipal Reserve	A	Central Date Angle

SURVEYOR

ROBERT M. WALLACE, A.L.S.
 Date of Survey: March 26th, 2020
 Certified Correct this 30th day of March, 2020.

ENCUMBRANCES, LIENS & INTERESTS

Title: 091 140 310 (Searched March 26th, 2020)
 Restrictive Covenant: 6183 EV
 Caveat: 051 035 278

TREE DATA

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8	Deciduous				6.0	2.0	0.40	PRIVATE	REMOVE

global raymac

312, 400-4th Street S.E.
 Calgary, Alberta T2C 2H3
 Phone: (403) 283-5455
 Email: adam@globalraymac.ca

NOTE

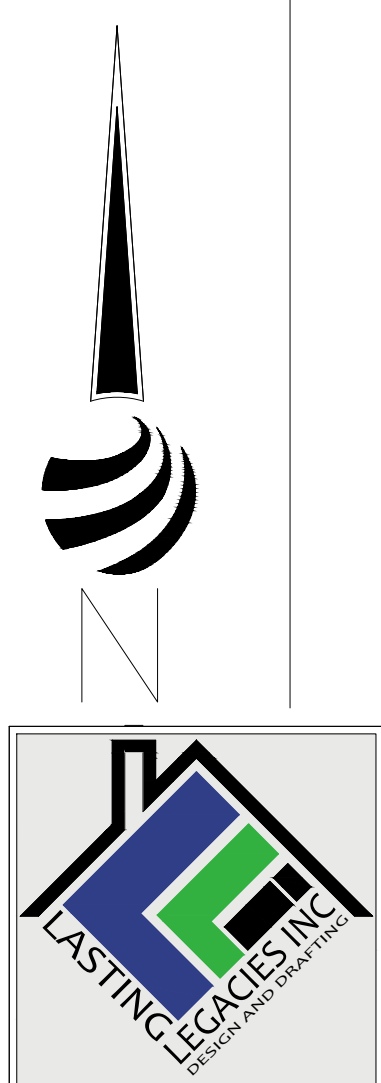
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DP APPLICATION PROPOSED SITING

PROJECT #: 2020-2110
 DATE: 2020.06.22
 DRAWN BY: LL
 SHEET

DD1.2

SCALE: 3/16"=1'-0"



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